



City of Manzanita

P.O. Box 129, Manzanita, OR 97130-0129
Phone (503) 368-5343 Fax (503) 368-4145

STAFF REPORT

TO: Manzanita Planning Commission
FROM: Walt Wendolowski, Contract Planner
SUBJECT: Planning File – Lot 13 Mixed-Use Design Review
DATE: August 9, 2021

I. BACKGROUND

- A. **APPLICANT:** Donnie Schmidt (for property owned by Sean and Melissa Pierce).
- B. **PROPERTY LOCATION:** Northside of Laneda Avenue, approximately 200-feet east of the intersection with North 5th Street. There is no site address and the County Assessor places the property within Township 3 North; Range 10 West; Section 29AC; Tax Lot #14800.
- C. **PARCEL SIZE:** The property contains 5,000 square feet.
- D. **EXISTING DEVELOPMENT:** The vacant lot fronts a public street and is served by public sewer and water.
- E. **ZONING:** The parcel is zoned Commercial (C-1).
- F. **ADJACENT ZONING AND LAND USE:** Property to the west, south and east is also zoned C-1 with City Hall located to the east and the remaining adjacent properties containing a mix of residences and commercial businesses. To the north are single family homes on property zoned High Density Residential/Limited Commercial (R-4).
- G. **REQUEST:** The applicant is requesting Design Review approval to construct a mixed-use commercial/residential building.
- H. **DECISION CRITERIA:** This application will be evaluated against the design review standards listed in Sections 4.080, 4.090 and 4.137 through 4.156 of Ordinance 95-4, and the standards for the Commercial (C-1) zone listed in Section 3.040 of Ordinance 95-4.

- I. SUBMITTED MATERIAL: In addition to the staff report, the application includes the following documents:
1. Land Use Application
 2. Schematics and Plans Identified as “Progress Set”
 3. Schematics and Plans Identified as “Design Review and Architectural Drawings”
 4. E-Mail Comments – Nehalem Bay Fire & Rescue

II. APPLICATION SUMMARY

- A. The applicant wishes to construct a two-story, mixed-use building with a commercial ground floor and second floor apartment. The project will feature the following:
1. The commercial ground floor will contain 1,200 square feet of area with an entrance facing Laneda Avenue. This front entrance will be landscaped with brick, include planters, trees and partially shaded by the second-floor balcony.
 2. The second floor, two-bedroom apartment contains 1,325 square feet of area with access is located on north side of the building. The north side of the site also includes five parking spaces, with three reserved for the commercial portion of the building.
 3. A shared driveway with the property to the west provides access to the site’s parking. Landscaping improvements are located on the north, east and south sides of the building and include physical features such a paving along with new trees and shrubs.
 4. The building will have a wooden exterior finish with two varieties of lap siding. Each floor will be painted a different color. A composite, angled roof completes the structure.
- B. The City sent notice of this application to affected agencies. The Nehalem Bay Fire & Rescue noted there were no issues associated with the project. They also requested to be included in the final occupancy inspection upon completion. No other comments were submitted.
- C. Pursuant to Section 4.152.2, a Design Review is mandated for all new construction. This action is subject to a public hearing and review by the Planning Commission.

III. CRITERIA AND FINDINGS –DESIGN REVIEW

- A. As noted, the site is located within the C-1 zone. Development requirements for the C-1 zone are contained in Section 3.040, specifically in subsection “(3)”.

Applicable items are noted below:

1. The proposed building meets the minimum setback requirements of 10-feet for the front yard, and, 5-feet for the remaining yards.
2. The building does not exceed the maximum 28-feet 6-inch height limitation of the zone.
3. At least 10% of the 5,000 square foot site must be landscaped, or a minimum of 500 square feet. The site plan identifies 1,130 square feet of landscaping improvements, of which 630 square feet contain living plant material.
4. Signs, awnings, marquees and sidewalk coverings shall extend not more than 10 feet from a building or more than 5 feet over a sidewalk, whichever is less. The second-floor balcony extends 6-feet from the building and does not encroach upon the Laneda Avenue sidewalk.
5. Dry wells and/or under pavement catch-and-release system will be provided as determined by the city and engineering considerations to address drainage.
6. A design review is required which is addressed in the following sections of this report.
7. The Floor Area Ratio of this project is 0.34 and including all structures on the property. This ratio does not exceed the 0.65 limit for the C-1 zone.
8. Signs must conform to Ordinance requirements. This will be addressed as a separate permit.

Based on the above findings, the building conforms to the development provisions of the C-1 zone.

- B. Sections 4.080 establishes the City's parking requirements. It specifically notes that "(A)t the time a new structure is erected or the use of an existing structure is changed or enlarged, off-street parking spaces, loading areas and access thereto shall be provided as set forth in this section unless greater requirements are otherwise established."

FINDINGS: As a new structure, parking is required. All required spaces will be on the same lot and be accessed by a private driveway. The identified spaces meet the minimum 9-foot by 18-foot space requirement. The commercial parking area effectively doubles as a delivery area which, for most smaller retail spaces, is common and sufficient. Access will be shared with the adjacent parcel; evidence of a shared agreement will be required. The proposal complies with provisions in this Section.

- C. Sections 4.090 establishes the City's parking standards.

FINDINGS: Per 4.090.3(b), for Commercial zoned lots of no more than 5,000 square feet in size, one space is required for a single residence. In addition, the 1,200 square foot commercial space requires one space per 400 square feet of

area [Section 4.090.3(f)] for a total of three spaces. The layout includes three commercial spaces, one residential space and a shared ADA space. The proposal meets the parking space requirement.

- D. Provisions in Sections 4.137 to 4.142 address site plan reviews (4.137), the use of fill for structural elevation (4.138), parking structures in the front yard (4.141) and matters regarding trees (4.142).

FINDINGS: This application and process are consistent with provisions in Section 4.137 which describe the submittal requirements. While site grading is necessary, fill is not required to construct the building (Section 4.138). As noted, all parking will be located on the north side of property while the front yard, in turn, will be appropriately landscaped (Section 4.141). The 15 existing trees on the site will be removed and replaced by additional native trees along the perimeter (Section 4.142).

- E. Section 4.150 identifies the purpose of the design review process:

“The purpose of Sections 4.150 through 4.158 is to provide design standards for commercial and mixed-use development in Manzanita’s commercial zones and in the High Density Residential/Limited Commercial zone. Design review provides aesthetic judgment over development projects in order to maintain the unique character of the community by keeping buildings to human scale and reflecting the natural beauty of the city’s setting, to encourage the traditional style of the Pacific Northwest, and to protect the viability of the commercial zones. The standards provide for originality, flexibility and innovation in site planning and development and encourage development where structures, use areas, artistic expression and site elements are integrated in a manner that is harmonious within the site and with adjacent properties. Design review criteria shall be applicable to all new construction, alteration of site improvements, or exterior alteration of commercial and mixed-use development in the C-1, LC, and R-4 zones.”

FINDINGS: Section 4.150 seeks to determine whether the proposal maintains the unique characteristics of the community. The exterior will be finished with shiplap siding on the ground floor and lap siding on the second floor. Trim, such as the entrance screening or the balcony, will also feature a wooden finish. The color combination of a dark brown second floor and light tan ground floor complements the trees in the vicinity. Further the design is somewhat similar to the commercial buildings located on the corner of Laneda and 5th. On balance, while the design is original, it generally fits into the area and certainly does not offer a jarring contrast to other structures in the vicinity.

- F. Section 4.151 lists applicable definitions while Section 4.152 identifies when a design review is required. The definitions are applicable to the design review process but do not by themselves establish design criteria (Section 4.151).

Finally, as previously noted, a design review is required as the proposal involves the construction of a new building (Section 4.152).

- G. Section 4.153 outlines the review procedures. For the purpose of this Section, a pre-application conference occurred and the applicant submitted the required material. Further, the City mailed notice to area property owners in compliance with applicable provisions.
- H. Section 4.154 outlines the purpose behind the design review criteria. This Section states *“(T)he design review criteria are intended to provide a frame of reference for the applicant in the development of site, building and landscape plans and to provide the city with a means of reviewing proposed plans. These criteria are not intended to be inflexible requirements nor are they intended to discourage creativity or innovation. The criteria do not intend to specify a particular architectural style.”* Further: *“(T)he Design Review Board is not authorized to approve projects which do not adhere to specific development standards provided by this ordinance (e.g., building height or setbacks.)”*
- I. Section 4.155 contains the specific decision criteria; each item is reviewed below:
 - 1. In terms of setback from street or sidewalk, the design creates a visually interesting and compatible relationship between the proposed structure and the surrounding area.

FINDINGS: The structure will be setback 10-feet from the front property line, complying with the setback requirement. This area provides an entrance to commercial portion of the building and includes paving stones and planters containing four trees. With the overhead balcony, the area has potential for outdoor seating. Generally, the space complements the building style and proposed finish.
 - 2. The design incorporates existing features such as rocks, slopes and vegetation.

FINDINGS: As the site will be cleared to accommodate the new structure and parking, not all of the existing vegetation could be retained. However, this will be supplanted with new tree and shrub plantings on the perimeter of the site.
 - 3. Where appropriate, the design relates or integrates the proposed landscaping/open space to the adjoining space in order to create pedestrian pathways and/or open system that connects other properties.

FINDINGS: The three commercial buildings to the west, and the former City Hall property to the east include open spaces for pedestrians along the Laneda Avenue frontage. The proposed building's front yard design is

similar to these structures, thereby enhancing this portion of the street.

4. The design gives attention to the placement of storage or mechanical equipment so as to screen it from view.

FINDINGS: Based on submitted drawings, the roof does not contain any mechanical equipment. The HVAC equipment will be located on the northeast corner of the building and sharing space with the waste/recycling equipment behind an enclosure.

5. All functions, uses and improvements are arranged to reflect and harmonize with the natural characteristics and limitations of the site and adjacent properties.

FINDINGS: As noted, the building is generally consistent in finish, color and style with a majority of the buildings in the vicinity and complements the trees within the vicinity.

- J. Section 4.156 contains the decision criteria evaluating architectural and landscaping design; each item is reviewed below:

1. The design integrates and harmonizes the existing and proposed development with the existing surroundings and future allowed uses. This standard shall be applied in a manner that encourages village design and visual diversity within development projects and the surrounding area. Corrugated siding is prohibited as it does not harmonize with siding used on most existing buildings.

FINDINGS: The building is generally consistent in finish, color and style with a majority of the buildings in the vicinity. The structure utilizes a wooden exterior – as are many adjacent structures - and does not include the use of corrugated siding or similar metal finishes.

2. The landscape design acknowledges the growing conditions for the climatic zone, and provisions are made for the survival and continuous maintenance. The landscape design shall include the use of local native species of trees and shrubs.

FINDINGS: Based on submitted comments and plans, an in-ground water system will serve the vegetative improvements.

3. The minimum lot area required to be landscaped under Section 3.040(3)(d) for commercial, mixed use, or non-residential uses shall be located in the front and side yards and the portion of the lot adjacent to the front or street side yards and not within the foundation footprint or rear yard. Living plant material shall cover at least 50% of this required minimum landscape area. For corner lots, at least 25% of the living plant

material required by this section shall face each street frontage.

FINDINGS: As noted, above, only 500 square feet of landscaping is required, of which 50% or 250 square feet must be in living plant material. The site contains 1,130 of landscaping of which 630 square feet are in living plan material.

4. [Reserved]

5. The grading and contouring of the site, and on-site drainage facilities, shall be designed so there is no adverse effect on neighboring properties or public rights-of-way.

FINDINGS: While downspouts were identified on the plans, submitted building and/or engineering plans will need to show an approved point of discharge for any storm water generated by the development.

6. The design avoids monotony and provides visual interest by giving sufficient attention to architectural details and to design elements.

FINDINGS: Each floor has a different, but compatible, color scheme. This is further enhanced by different types of siding, wooden trim and the placement and size of windows. On balance, these provide a visual interest to the structure.

7. The design adequately addresses the pedestrian nature of the commercial area and places structures in relation to sidewalks and open areas to foster human interaction.

FINDINGS: The front setback and balcony overhang offers an open space area that can be used for outdoor seating thereby improving interaction with pedestrians.

8. Lighting is non-industrial and non-invasive in character, and contributes to the village character.

FINDINGS: Plans and schematics for the structure placed the lighting primarily at the doorway entrances. A lighting plan is submitted as part of the building plans to ensure lighting is not directed onto adjacent properties.

9. Compatibility. All new commercial and mixed-use buildings and exterior alterations shall be designed consistent with the architectural context in which they are located. This standard is met when the Design Review Board finds that all of the criteria in a.- c., below, are met.

a. There is compatibility in building sizes between new and existing

- commercial and mixed use buildings;
- b. The size, shape and scale of the structures are architecturally compatible with the site and with the village character of the surrounding neighborhood. Particular attention will be paid to addressing the visual impact of the structures on residential uses that are adjacent or on the opposite side of the same street.
- c. All buildings and developments shall provide human scale design. The design avoids a monolithic expanse of frontages and roof lines, diminishes the massing of buildings by breaking up building sections, and/or by use of such elements as visual planes, projections, bays, dormers, second floor setbacks or changes in the roof line, and/or similar features generally shown in the following figure (see Ordinance). Changes in paint color and features that are not designed as permanent architectural elements, such as display cabinets, window boxes, retractable and similar mounted awnings or canopies, and other similar features will not independently satisfy this criterion.

FINDINGS: This report previously reviewed the compatibility with area properties (items a., and b.). While not an architectural “match” with surrounding structures, the design and finish are generally compatible with these structures. The two separate floors have different exterior finishes and the second floor has a balcony overhang on the ground floor. In combination with the relatively large expanse of windows on the first floor, the design avoids creating a single monolithic structure. On balance, staff finds the improvement consistent with the intent of the design standards.

- K. Section 4.158 includes on performance assurance, including building permit requirements and time limitations.

FINDINGS: These are administrative requirements applicable to both the City and applicant.

IV. RECOMMENDATION AND CONDITIONS OF APPROVAL

City staff finds the proposal complies with the applicable Design Review criteria and recommends the Planning Commission approve the application subject to the following Conditions:

- A. The developer shall submit engineering plans to the City of Manzanita addressing water, storm water, street improvements and similar private facility improvements. Sanitary sewer plans shall also be submitted the Nehalem Bay Wastewater Agency (NBWA). These plans shall be reviewed and approved by the City and NBWA prior to construction.

- B. The developer shall submit a building permit for construction of the mixed-use building, conforming to the applicable building code requirements. The submitted site plan shall substantially conform to the approved layout. While building plans may be simultaneously submitted with engineering plans, building permits shall not be issued until all engineering plans are reviewed and approved.
- C. Prior to receiving a building permit, the developer shall submit evidence of a shared access agreement that includes the adjacent property to the west.
- D. Prior to occupancy, the developer shall complete the following:
 - 1. Install and/or extend public facility improvements, consistent with City and/or NBWA approved engineering plans.
 - 2. Install parking improvements consistent with approved building and engineering plans.
- E. The structure shall comply with the building permit requirements and conform to the submitted site plan. The applicant is advised that modifications to the approved plan may require a new design review application and decision.
- F. Compliance with these conditions, the requirements of the Manzanita Zoning Ordinance, Nehalem Bay Wastewater Agency, Nehalem Bay Fire & Rescue and applicable building code provisions shall be the sole responsibility of the developer.

V. PLANNING COMMISSION ACTION

- A. The Planning Commission has the following options:
 - 1. Approve the application, adopting findings and conditions contained in the staff report;
 - 2. Approve the application, adopting modified findings and/or conditions;
 - 3. Deny the application, establishing findings as to why the application fails to comply with the decision criteria.
- B. Staff will prepare a document for the Chair's signature.

@	AT	JT	JOINT
#	NUMBER	LAM	LAMINATE
		L.F.	LINEAR FOOT
A/C	AIR CONDITIONING	LOC	LOCATION
ACT	ACOUSTICAL CEILING TILE	LVR	LOUVER
AD	AREA DRAIN	MAT'L	MATERIAL
ADJ	ADJUSTABLE	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
ALT	ALTER OR ALTER NATE	MEMB	MEMBRANE
ALUM	ALUMINUM	MTL	METAL
APPROX	APPROXIMATE	MFG	MANUFACTURING
APPV	APPROVED	MFR	MANUFACTURER
ARCH	ARCHITECTURAL	MIN	MINIMUM
		MISC	MISCELLANEOUS
		M.O.	MASONRY OPENING
BD.	BOARD	MTD	MOUNTED
BITUM.	BITUMINOUS	MUL	MULLION
BLDG	BUILDING		
BLKG	BULKING		
B.U.R.	BUILT UP ROOFING	N.	NORTH
		N.I.C.	NOT IN CONTRACT
CLR	CLEAR	N.O.	NUMBER
C.M.U.	CONCRETE MASONRY UNIT	N.O.M.	NOMINAL
CONC	CONCRETE	N/A	NOT APPLICABLE
COND	CONDITION OR CONDENSER	N.T.S.	NOT TO SCALE
CONN	CONNECTION		
CONSTR	CONSTRUCTION	O/	OVER
CONT	CONTINUOUS	O.C.	ON CENTER
CTR	CENTER	O.D.	OUTSIDE DIAMETER
CTSK	COUNTERSUNK	O.D.	OVERFLOW DRAIN (roof plan)
C.W.	COLDWATER	OVHD	OVERHEAD
		OPNG	OPENING
		OPP	OPPOSITE
D.	DEEP DEPTH	PKG	PACKAGE
DBL	DOUBLE	PLBG	PLUMBING
DET	DETAIL	PLYWD	PLYWOOD
DIA	DIAMETER	PTD	PAINTED
DIM	DIMENSION	PW	PICTURE WINDOW
DN	DOWN	PWDR	POWDER
DWG	DRAWING	QTY	QUANTITY
DWR	DRAWER		
		RAD	RADIUS
(E)	EXISTING	RD	ROOF DRAIN
EA.	EACH	REF	REFERENCE
ELEC	ELECTRICAL	REINF	REINFORCED, REINFORCING
ELEV	ELEVATION	REQ	REQUIRED
E.O.S.	EDGE OF SLAB	RESIL	RESILIENT
EQ	EQUAL	REV	REVISED
EQUIP	EQUIPMENT	RM	ROOM
E.W.	EACH WAY	RO	ROUGH OPENING
EXP	EXPANSION		
EXPO	EXPOSED	S.	SOUTH
EXT	EXTERIOR	SCPD	SOLID CORE PRIMED
FA.	FIRE ALARM	SCHED	SCHEDULE
F.A.U.	FORCED AIR UNIT	SECT	SECTION
F.D.	FLOOR DRAIN	SEP	SEPARATION, SEPARATE
F.G.	FINISH GRADE	SIM	SIMILAR
FIN.	FINISH	SLDG	SLIDING
FLR	FLOOR	SPEC	SPECIFICATION
FLOUR.	FLORESCENT	SQ	SQUARE
F.O.C.	FACE OF CONCRETE	STD	STANDARD
F.O.F.	FACE OF FINISH	STL	STEEL
F.O.S.	FACE OF STUD	STRCT'L	STRUCTURAL
FRF	FIREPROOF		
FRMG	FRAMING	T&G	TONGUE & GROOVE
FT	FOOT, FEET	T.D.	TOP OF DRAIN
FURR.	FURRING, FURRED	TEL	TELEPHONE
		TEMP	TEMPERATURE
		THK	THICK, THICKNESS
GA	GUAGE	THR.	THRESHOLD
GALV	GALVANIZED	T.P.	TOP OF PAVEMENT
GL	GLASS, GLAZING	T.O.S.	TOP OF SLAB / SHEATHING
GND	GROUND	T.S.	TOP OF STEEL
GR	GRADE	TV	TELEVISION
GYP	GYPSUM	T.O.W.	TOP OF WALL
		TYP	TYPICAL
H.	HIGH		
H.B.	HOSE BIB	UNF	UNFINISHED
H.C.	HOLLOW CORE	U.O.N.	UNLESS OTHERWISE NOTED
HDWR	HARDWARE		
HDWD	HARDWOOD		
HORIZ	HORIZONTAL		
HR	HOUR	VERT	VERTICAL
HT	HEIGHT	V.I.F.	VERIFY IN FIELD
HVAC	HEATING, VENTILATION & AIRCONDITIONING	VOL	VOLUME
H.W.	HOT WATER	W.	WEST
		W/	WITH
I.D.	INSIDE DIAMETER	W.H.	WATER HEATER
INCL	INCLUDING	W/O	WITHOUT
INSUL	INSULATION	WO	WOOD
INT	INTERIOR	WP	WATERPROOF
		WPM	WATERPROOF MEMBRANE
		WT	WEIGHT

Door Number

Window Number

Wall Type Tag

Material Type Tag
(refers to Finish Schedule)

Keynote Tag

New Revision Area Clout and Tag
(Revision Number)
(Revision Type)
ADD

Old Revision Area Clout and Tag
ADD

Datum Point

Section Tag
Drawing Number
Sheet Number

Exterior Elevation Tag
Drawing Number
Sheet Number

Interior Elevation Tag
Drawing Number
Sheet Number

Detail Tag
Drawing Number
Sheet Number

ROOM
000

Room Name
Room Number

Structural Grid Line

Smoke Alarm Indicator

Fire Hose Cabinet

Fire Extinguisher w/o Cabinet

Fire Extinguisher Cabinet

Fire Alarm Pull

Egress Path

Centerline

OWNER
SEAN AND MELISSA PIERCE
PO BOX 272 MANZANITA, OR 97130
SRP0010@GMAIL.COM
(503) 329 - 4291

EXECUTIVE ARCHITECT
METHOD DESIGN
5392 TREE ST, LAKE OSWEGO, OR 97035
(323) 337-6967

STRUCTURAL ENGINEERING
TBD

CONTRACTOR
TBD

SITE INFORMATION
SITE ADDRESS: LOT 13, LANEDA AVE, MANZANITA, OR 97130
COUNTY: TILLAMOOK
JURISDICTION: CITY OF MANZANITA / TILLAMOOK COUNTY
ZONE: C1 COMMERCIAL
LOT SIZE: 5,000 SF (0.11 ACRES)
TAX ID / PARCEL #: 14800, MAP 3N, 10W, 29AC

SCOPE OF WORK
NEW CONSTRUCTION OF A MIXED-USE TWO STORY STRUCTURE. SCOPE INCLUDES GROUND FLOOR COMMERCIAL GROUP B OCCUPANCY, UPPER LEVEL SINGLE UNIT RESIDENTIAL R3 OCCUPANCY WITH NEW AT GRADE PARKING AND LANDSCAPING.

CALCULATIONS

FLOOR AREAS

.65 X 5,000 SF LOT AREA = 3,250 SF MAX FLOOR AREA

COMMERCIAL GROUND FLOOR	1,200 GSF
RESIDENTIAL UPPER FLOOR	1,325 GSF
TOTAL PROPOSED FLOOR AREA	2,525 GSF

PARKING

DWELLING ON LOTS 5,000 SF OR SMALLER: 1/UNIT FOR THE FIRST = 1 UNIT RESIDENTIAL
OFFICE/SMALL RETAIL: 1/400 SF OF GROSS FLOOR AREA =
1200/400 = 3 UNITS COMMERCIAL

TREES
DEVELOPMENT PROPOSES REMOVAL OF 15 TREES. PER CITY OF MANZANITA, DEVELOPMENT PROPOSED 4 NEW REPLACEMENT TREES. SPECIES TO BE NATIVE.

[illegible]

ALL DRAWINGS AND DETAILS ARE IDENTIFIED BY THE GRID NUMBER IN THE LOWER RIGHT HAND CORNER. ALL NUMBER LOCATIONS CONFORM TO THIS GRID SYSTEM.

12	9	6	3
11	8	5	2
10	7	4	1

SHEET GRID SYSTEM
SCALE: NTS

10

BUILDING CODE INFORMATION							
JURISDICTION:	TILLAMOOK COUNTY / CITY OF MANZANITA						
BUILDING CODE:	2019 OREGON STRUCTURAL SPECIALTY CODE						
ZONING:	C-1 COMMERCIAL						
MIN REQUIRED SETBACKS:	<table border="0"> <tr> <td>FRONT</td> <td>10 FT</td> </tr> <tr> <td>SIDES</td> <td>5 FT</td> </tr> <tr> <td>REAR</td> <td>30 FT</td> </tr> </table>	FRONT	10 FT	SIDES	5 FT	REAR	30 FT
FRONT	10 FT						
SIDES	5 FT						
REAR	30 FT						
MAX HEIGHT LIMIT:	28'-6" FT						

BUILDING CODE INFORMATION

SCALE: NTS

7

ENERGY EFFICIENCY / PERSPECTIVE ENVELOPE REQUIREMENTS PER TABLE C402.1.3 ALL CONDITIONED SPACES W/IN BUILDING SHALL COMPLY AS FOLLOWS:		
CLIMATE ZONE:	ZONE 5 / MARINE (ZONE 4 ADJUSTED)	
	C1	GROUP R
ROOFS		
INSULATION ABOVE ROOF DECK	R30ci	R30ci
METAL BUILDINGS	R19+R11LS	R19+R11LS
ATTIC AND OTHER	R38	R49
MASS	R11.4ci	R13.3ci
WALLS, ABOVE GRADE		
MASS	R11.4ci	R13.3ci
METAL BUILDING	R13+R13ci	R13+R13ci
METAL FRAMED	R13+R7.5ci	R13+R7.5ci
WOOD FRAMED	R20	R20+R3.8ci
WALLS, BELOW GRADE		
BELOW GRADE WALL	R7.5ci	R7.5ci
FLOORS		
MASS	R10ci	R12.5ci
JOIST / FRAMING	R30	R30
SLAB ON GRADE FLOORS		
UNHEATED SLABS	R10 for 24" below	
HEATED SLABS	R15 for 36" below + R5 full slab	
OPAQUE DOORS		
NONSWINGING	R4.75	R4.75
SWINGING DOOR	U0.37	U0.37
GARAGE DOOR <14% GLAZING	U0.31	U0.31

ENERGY EFFICIENCY CODE

SCALE: NTS

4

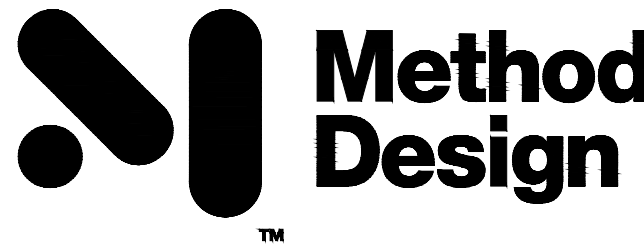
[illegible]

LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JUNE 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE

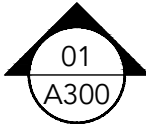
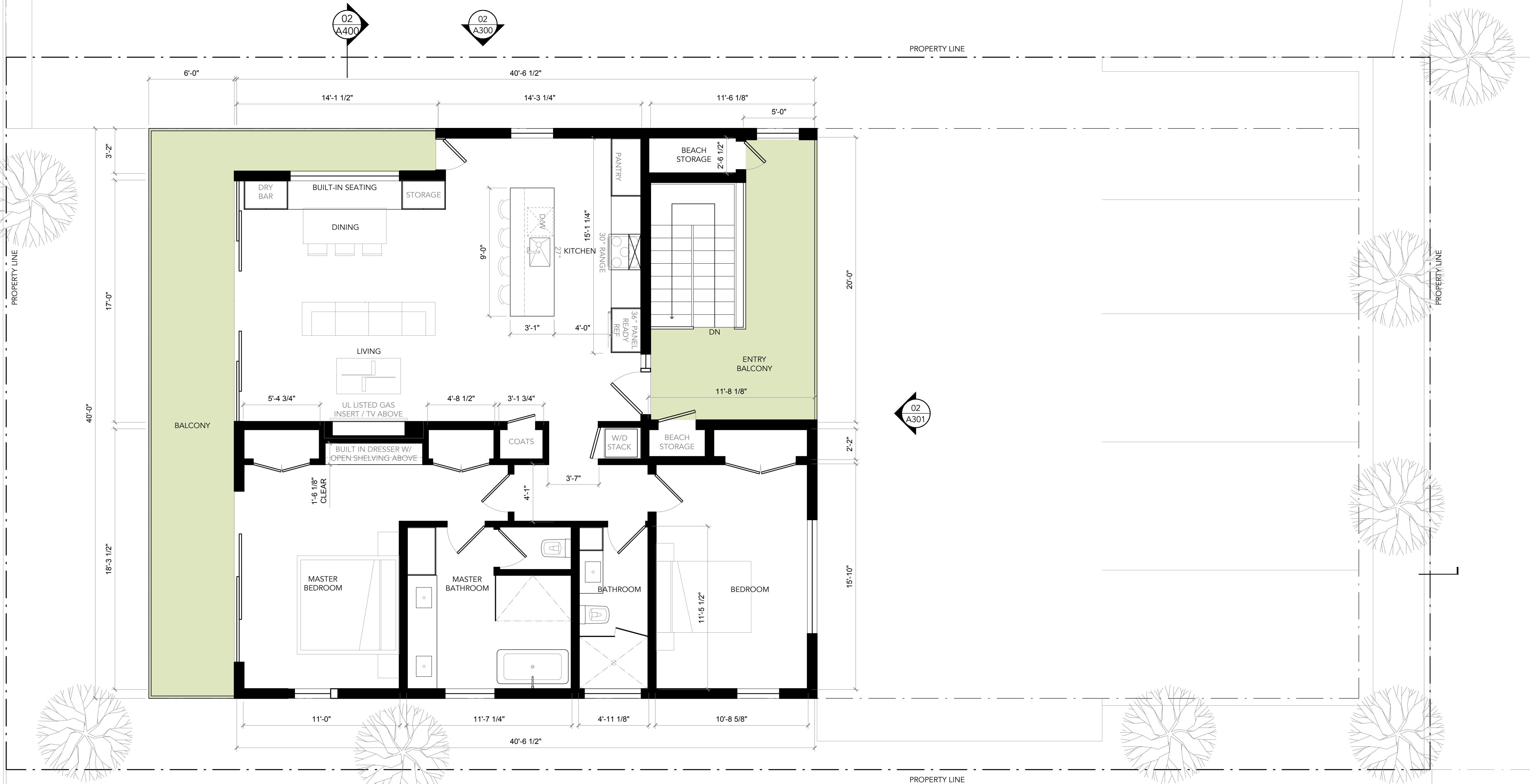
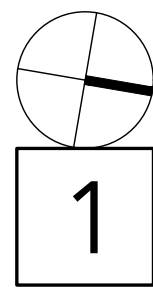
-

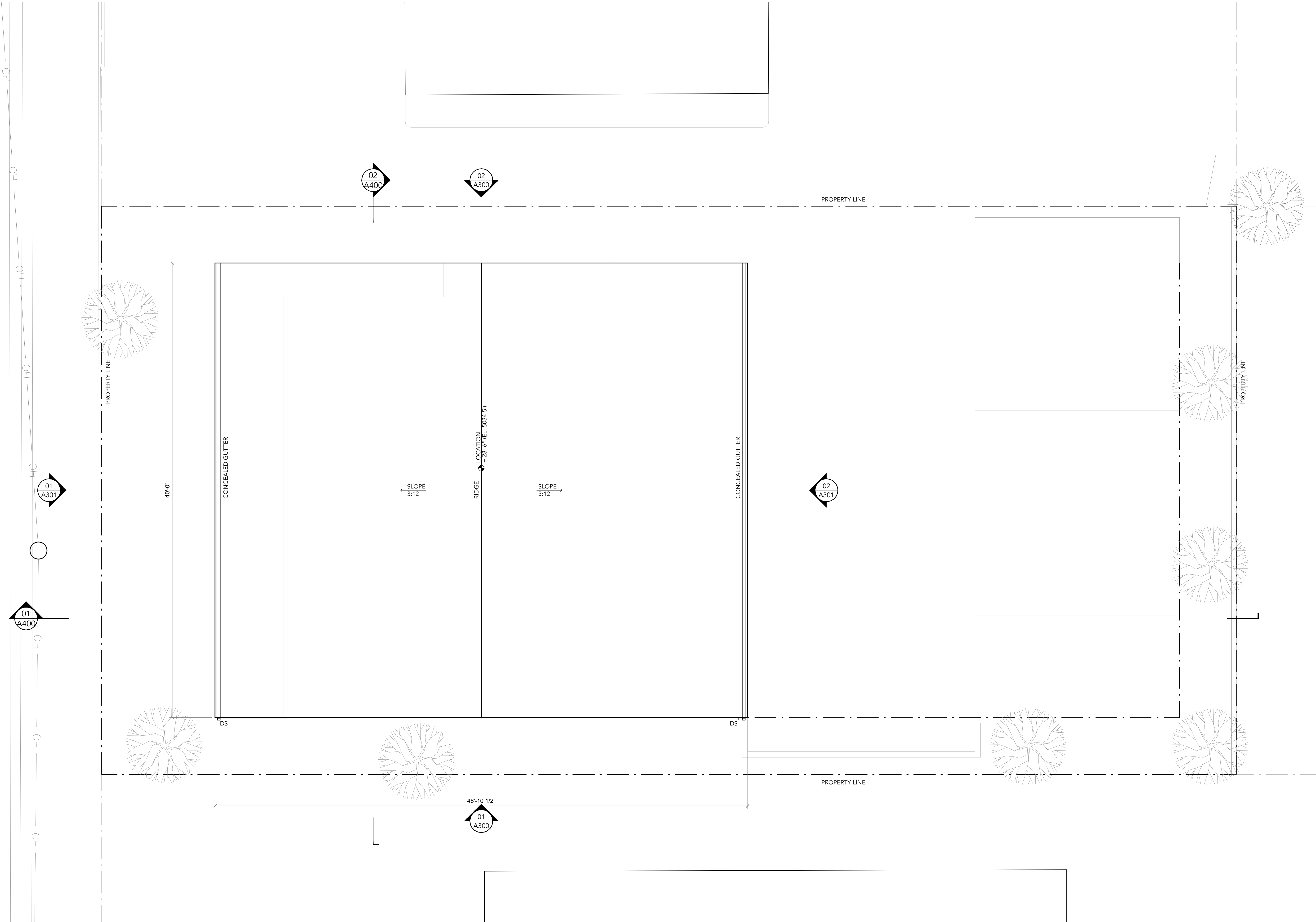
THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

A202

FLOOR PLANS

FLOOR PLAN: UPPER LEVEL (RESIDENTIAL)
SCALE: 1/4"





LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

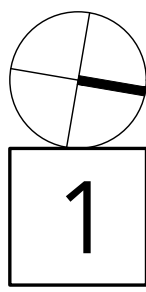
DATE
JUNE 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

ROOF PLAN
SCALE: 1/4"



1

A203

FLOOR PLANS

LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

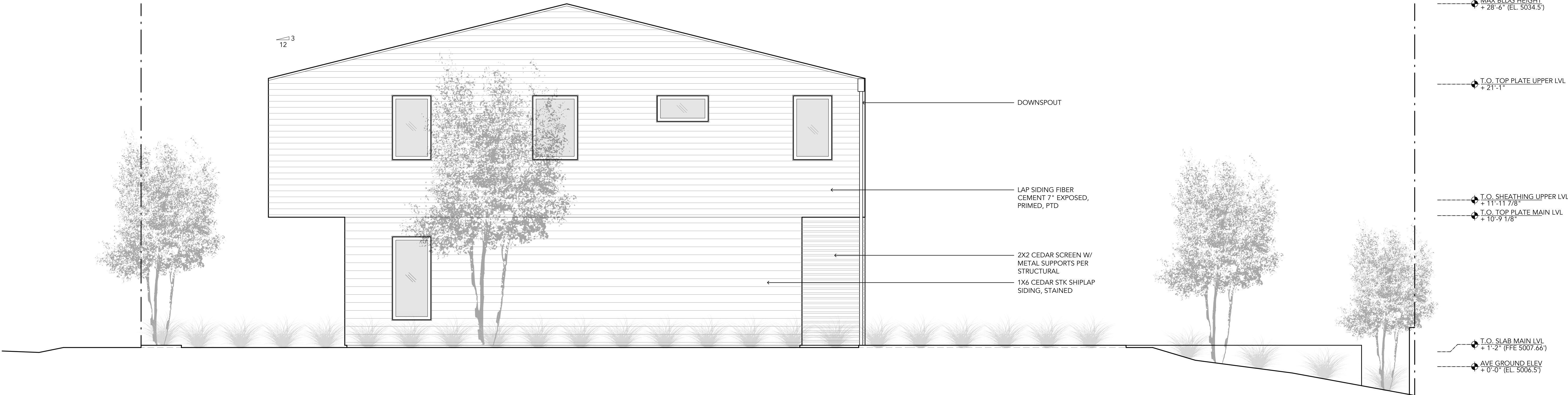
EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM



EXTERIOR ELEVATION: WEST 2
SCALE: 1/4"



EXTERIOR ELEVATION: EAST 1
SCALE: 1/4"

LOT 13
LANEDA
MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JUNE 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

A300
EXT ELEVATIONS

LEAD DESIGNER:

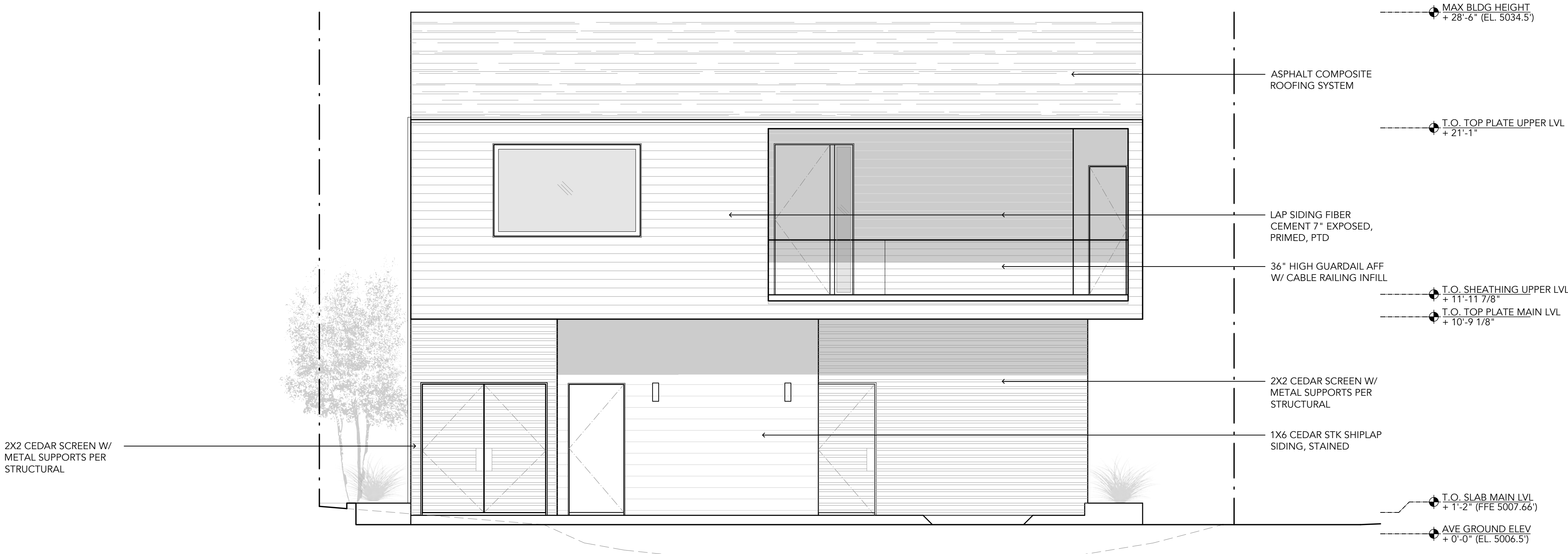


CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM



EXTERIOR ELEVATION: NORTH 2
SCALE: 1/4"



EXTERIOR ELEVATION: SOUTH 1
SCALE: 1/4"

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JUNE 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

A301

EXT ELEVATIONS

LEAD DESIGNER:

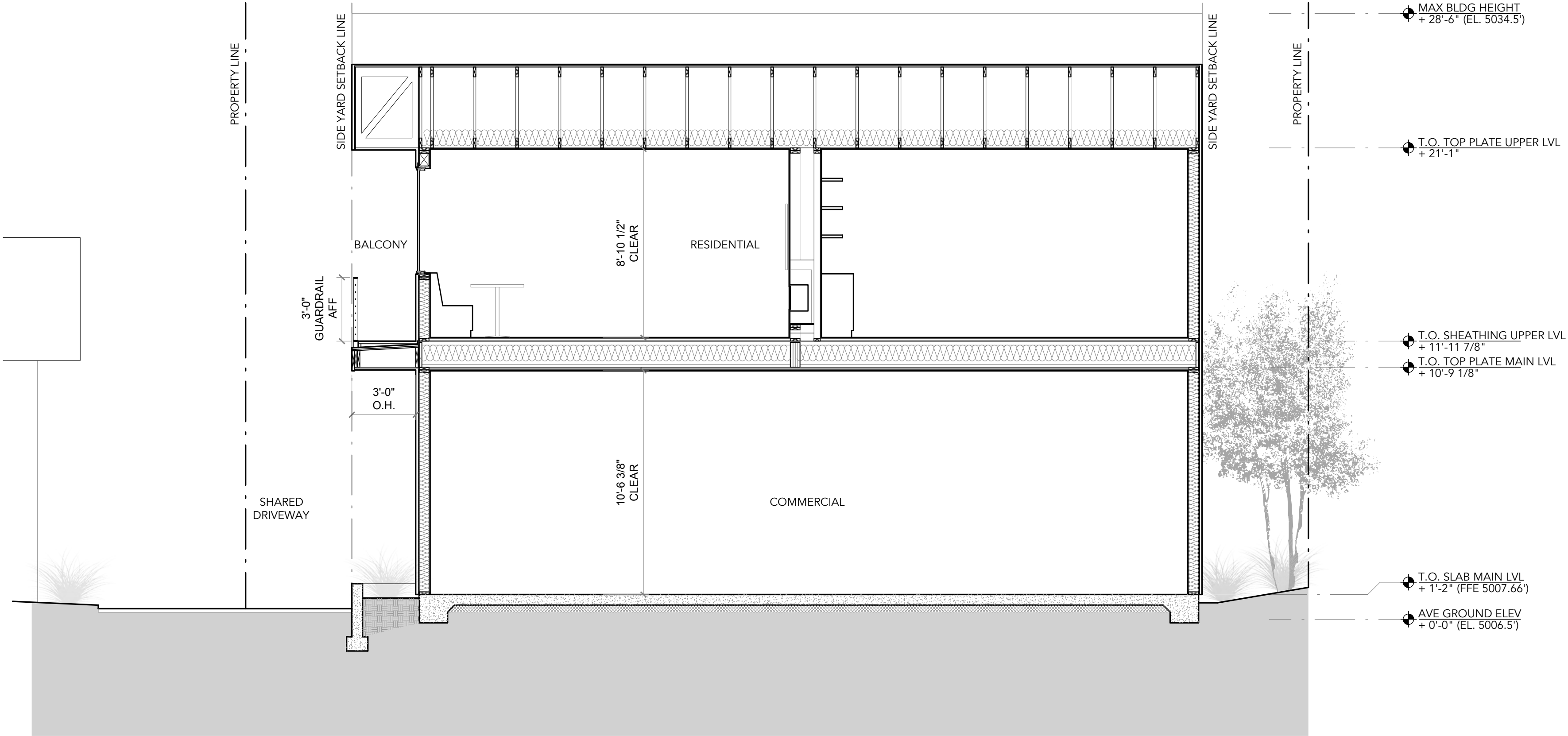


CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

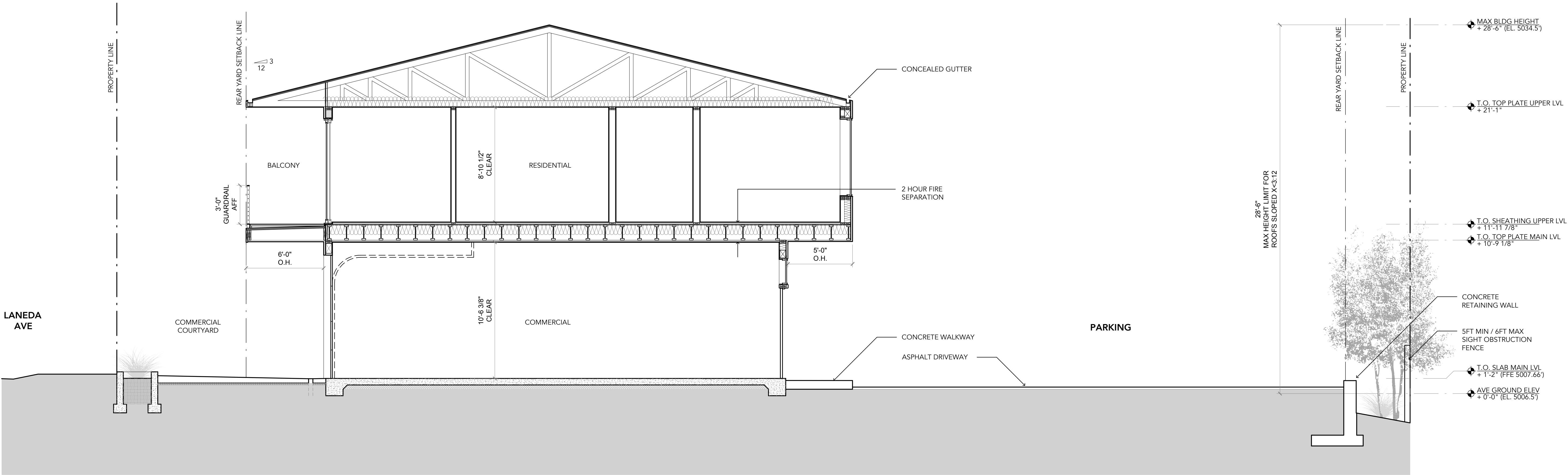
EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM



TYP BUILDING SECTION: HORIZONTAL 2
SCALE: 1/4"



TYP BUILDING SECTION: LONGITUDINAL 1
SCALE: 1/4"

LOT 13
LANEDA
MIXED-USE
LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JUNE 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

A400
BLDG SECTIONS

@	AT	JT	JOINT
#	NUMBER	LAM	LAMINATE
		L.F.	LINEAR FOOT
A/C	AIR CONDITIONING	LOC	LOCATION
ACT	ACOUSTICAL CEILING TILE	LVR	LOUVER
AD	AREA DRAIN	MAT'L	MATERIAL
ADJ	ADJUSTABLE	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
ALT	ALTER OR ALTER NATE	MEMB	MEMBRANE
ALUM	ALUMINUM	MTL	METAL
APPROX	APPROXIMATE	MFG	MANUFACTURING
APPV	APPROVED	MFR	MANUFACTURER
ARCH	ARCHITECTURAL	MIN	MINIMUM
		MISC	MISCELLANEOUS
		M.O.	MASONRY OPENING
BD.	BOARD	MTD	MOUNTED
BITUM.	BITUMINOUS	MUL	MULLION
BLDG	BUILDING		
BLKG	BULKING		
B.U.R.	BUILT UP ROOFING	N.	NORTH
		N.I.C.	NOT IN CONTRACT
CLR	CLEAR	N.O.	NUMBER
C.M.U.	CONCRETE MASONRY UNIT	N.O.M.	NOMINAL
CONC	CONCRETE	N/A	NOT APPLICABLE
COND	CONDITION OR CONDENSER	N.T.S.	NOT TO SCALE
CONN	CONNECTION		
CONSTR	CONSTRUCTION	O/	OVER
CONT	CONTINUOUS	O.C.	ON CENTER
CTR	CENTER	O.D.	OUTSIDE DIAMETER
CTSK	COUNTERSUNK	O.D.	OVERFLOW DRAIN (roof plan)
C.W.	COLDWATER	OVHD	OVERHEAD
		OPNG	OPENING
		OPP	OPPOSITE
D.	DEEP DEPTH	PKG	PACKAGE
DBL	DOUBLE	PLBG	PLUMBING
DET	DETAIL	PLYWD	PLYWOOD
DIA	DIAMETER	PTD	PAINTED
DIM	DIMENSION	PW	PICTURE WINDOW
DN	DOWN	PWDR	POWDER
DWG	DRAWING	QTY	QUANTITY
DWR	DRAWER		
		RAD	RADIUS
(E)	EXISTING	RD	ROOF DRAIN
EA.	EACH	REF	REFERENCE
ELEC	ELECTRICAL	REINF	REINFORCED, REINFORCING
ELEV	ELEVATION	REQ	REQUIRED
E.O.S.	EDGE OF SLAB	RESIL	RESILIENT
EQ	EQUAL	REV	REVISED
EQUIP	EQUIPMENT	RM	ROOM
E.W.	EACH WAY	RO	ROUGH OPENING
EXP	EXPANSION		
EXPO	EXPOSED	S.	SOUTH
EXT	EXTERIOR	SCPD	SOLID CORE PRIMED
		SCHED	SCHEDULE
FA.	FIRE ALARM	SECT	SECTION
F.A.U.	FORCED AIR UNIT	SEP	SEPARATION, SEPARATE
F.D.	FLOOR DRAIN	SIM	SIMILAR
F.G.	FINISH GRADE	SLDG	SLIDING
FIN.	FINISH	SPEC	SPECIFICATION
FLR	FLOOR	SQ	SQUARE
FLOUR.	FLORESCENT	STD	STANDARD
F.O.C.	FACE OF CONCRETE	STL	STEEL
F.O.F.	FACE OF FINISH	STRCT'L	STRUCTURAL
F.O.S.	FACE OF STUD		
FRF	FIREPROOF	T&G	TONGUE & GROOVE
FRMG	FRAMING	T.D.	TOP OF DRAIN
FT	FOOT, FEET	TEL	TELEPHONE
FURR.	FURRING, FURRED	TEMP	TEMPERATURE
		THK	THICK, THICKNESS
GA	Gauge	THR.	THRESHOLD
GALV	GALVANIZED	T.P.	TOP OF PAVEMENT
GL	GLASS, GLAZING	T.O.S.	TOP OF SLAB / SHEATHING
GND	GROUND	T.S.	TOP OF STEEL
GR	GRADE	TV	TELEVISION
GYP	GYPSUM	T.O.W.	TOP OF WALL
		TYP	TYPICAL
H.	HIGH		
H.B.	HOSE BIB	UNF	UNFINISHED
H.C.	HOLLOW CORE	U.O.N.	UNLESS OTHERWISE NOTED
HDWR	HARDWARE		
HDWD	HARDWOOD		
HORIZ	HORIZONTAL		
HR	HOUR	VERT	VERTICAL
HT	HEIGHT	V.I.F.	VERIFY IN FIELD
HVAC	HEATING, VENTILATION & AIRCONDITIONING	VOL	VOLUME
H.W.	HOT WATER	W.	WEST
		W/	WITH
I.D.	INSIDE DIAMETER	W.H.	WATER HEATER
INCL	INCLUDING	W/O	WITHOUT
INSUL	INSULATION	WO	WOOD
INT	INTERIOR	WP	WATERPROOF
		WPM	WATERPROOF MEMBRANE
		WT	WEIGHT

Door Number

Window Number

Wall Type Tag

Material Type Tag
(refers to Finish Schedule)

Keynote Tag

New Revision Area Clout and Tag
(Revision Number)
(Revision Type)
2 ADD

Old Revision Area Clout and Tag
1 ADD

Datum Point
LOCATION
+ 0'-0"

Section Tag
Drawing Number
Sheet Number

Exterior Elevation Tag
Drawing Number
Sheet Number

Interior Elevation Tag
Drawing Number
Sheet Number

Detail Tag
Drawing Number
Sheet Number

ROOM
000

Room Name
Room Number

Structural Grid Line

Smoke Alarm Indicator

Fire Hose Cabinet

Fire Extinguisher w/o Cabinet

Fire Extinguisher Cabinet

Fire Alarm Pull

Egress Path

Centerline

OWNER
SEAN AND MELISSA PIERCE
PO BOX 272 MANZANITA, OR 97130
SRP0010@GMAIL.COM
(503) 329 - 4291

EXECUTIVE ARCHITECT
METHOD DESIGN
5392 TREE ST, LAKE OSWEGO, OR 97035
(323) 337-6967

STRUCTURAL ENGINEERING
TBD

CONTRACTOR
TBD

SITE INFORMATION
SITE ADDRESS: LOT 13, LANEDA AVE, MANZANITA, OR 97130
COUNTY: TILLAMOOK
JURISDICTION: CITY OF MANZANITA / TILLAMOOK COUNTY
ZONE: C1 COMMERCIAL
LOT SIZE: 5,000 SF (0.11 ACRES)
TAX ID / PARCEL #: 14800, MAP 3N, 10W, 29AC

SCOPE OF WORK
NEW CONSTRUCTION OF A MIXED-USE TWO STORY STRUCTURE. SCOPE INCLUDES GROUND FLOOR COMMERCIAL GROUP B OCCUPANCY, UPPER LEVEL SINGLE UNIT RESIDENTIAL R3 OCCUPANCY WITH NEW AT GRADE PARKING AND LANDSCAPING.

CALCULATIONS
FLOOR AREAS
.65 X 5,000 SF LOT AREA = 3,250 SF MAX FLOOR AREA
COMMERCIAL GROUND FLOOR 1,200 GSF
RESIDENTIAL UPPER FLOOR 1,325 GSF
TOTAL PROPOSED FLOOR AREA 2,525 GSF

PARKING
DWELLING ON LOTS 5,000 SF OR SMALLER: 1/UNIT FOR THE FIRST = 1 UNIT RESIDENTIAL OFFICE/SMALL RETAIL: 1/400 SF OF GROSS FLOOR AREA = 1200/400 = 3 UNITS COMMERCIAL

TREES
DEVELOPMENT PROPOSES REMOVAL OF 15 TREES. PER CITY OF MANZANITA, DEVELOPMENT PROPOSED 5 NEW REPLACEMENT TREES. SPECIES TO BE NATIVE. REFER TO LANDSCAPE PLAN FOR TREE SPECIFICATION.

LANDSCAPE AREA
PER MANZANITA ORD 95-4 SECTION 3.040.3.D, 10% OF SITE AREA SHALL BE DEVOTED TO LANDSCAPING: 5,000 SF SITE AREA = 500 SF MIN LANDSCAPE AREA

PROVIDED LANDSCAPE AREA = 1,130 SF

LIVING PLANT MATERIAL AREA
PER MANZANITA ORD 95-4 SECTION 4.156.3 LIVING PLANT MATERIAL SHALL COVER AT LEAST 50% OF REQ LANDSCAPE AREA:
50% OF 500 SF REQ LANDSCAPE AREA = 250 SF MIN

PROVIDED LIVING PLANT MATERIAL AREA = 630 SF

[illegible]

ALL DRAWINGS AND DETAILS ARE IDENTIFIED BY THE GRID NUMBER IN THE LOWER RIGHT HAND CORNER. ALL NUMBER LOCATIONS CONFORM TO THIS GRID SYSTEM.

12	9	6	3
11	8	5	2
10	7	4	1

SHEET GRID SYSTEM
SCALE: NTS

10

BUILDING CODE INFORMATION			
JURISDICTION:	TILLAMOOK COUNTY / CITY OF MANZANITA		
BUILDING CODE:	2019 OREGON STRUCTURAL SPECIALTY CODE		
ZONING:	C-1 COMMERCIAL		
MIN REQUIRED SETBACKS:	FRONT	10 FT	
	SIDES	5 FT	
	REAR	30 FT	
MAX HEIGHT LIMIT:	28'-6" FT		

ENERGY EFFICIENCY / PERSPECTIVE ENVELOPE REQUIREMENTS PER TABLE C402.1.3 ALL CONDITIONED SPACES W/IN BUILDING SHALL COMPLY AS FOLLOWS:		
CLIMATE ZONE:	ZONE 5 / MARINE (ZONE 4 ADJUSTED)	
	C1	GROUP R
ROOFS		
INSULATION ABOVE ROOF DECK	R30ci	R30ci
METAL BUILDINGS	R19+R11LS	R19+R11LS
ATTIC AND OTHER	R38	R49
MASS	R11.4ci	R13.3ci
WALLS, ABOVE GRADE		
MASS	R11.4ci	R13.3ci
METAL BUILDING	R13+R13ci	R13+R13ci
METAL FRAMED	R13+R7.5ci	R13+R7.5ci
WOOD FRAMED	R20	R20+R3.8ci
WALLS, BELOW GRADE		
BELOW GRADE WALL	R7.5ci	R7.5ci
FLOORS		
MASS	R10ci	R12.5ci
JOIST / FRAMING	R30	R30
SLAB ON GRADE FLOORS		
UNHEATED SLABS	R10 for 24" below	
HEATED SLABS	R15 for 36" below + R5 full slab	
OPAQUE DOORS		
NONSWINGING	R4.75	R4.75
SWINGING DOOR	U0.37	U0.37
GARAGE DOOR <14% GLAZING	U0.31	U0.31

ENERGY EFFICIENCY CODE

SCALE: NTS

4

VICINITY MAP

SCALE: 100 ft

1

LEAD DESIGNER

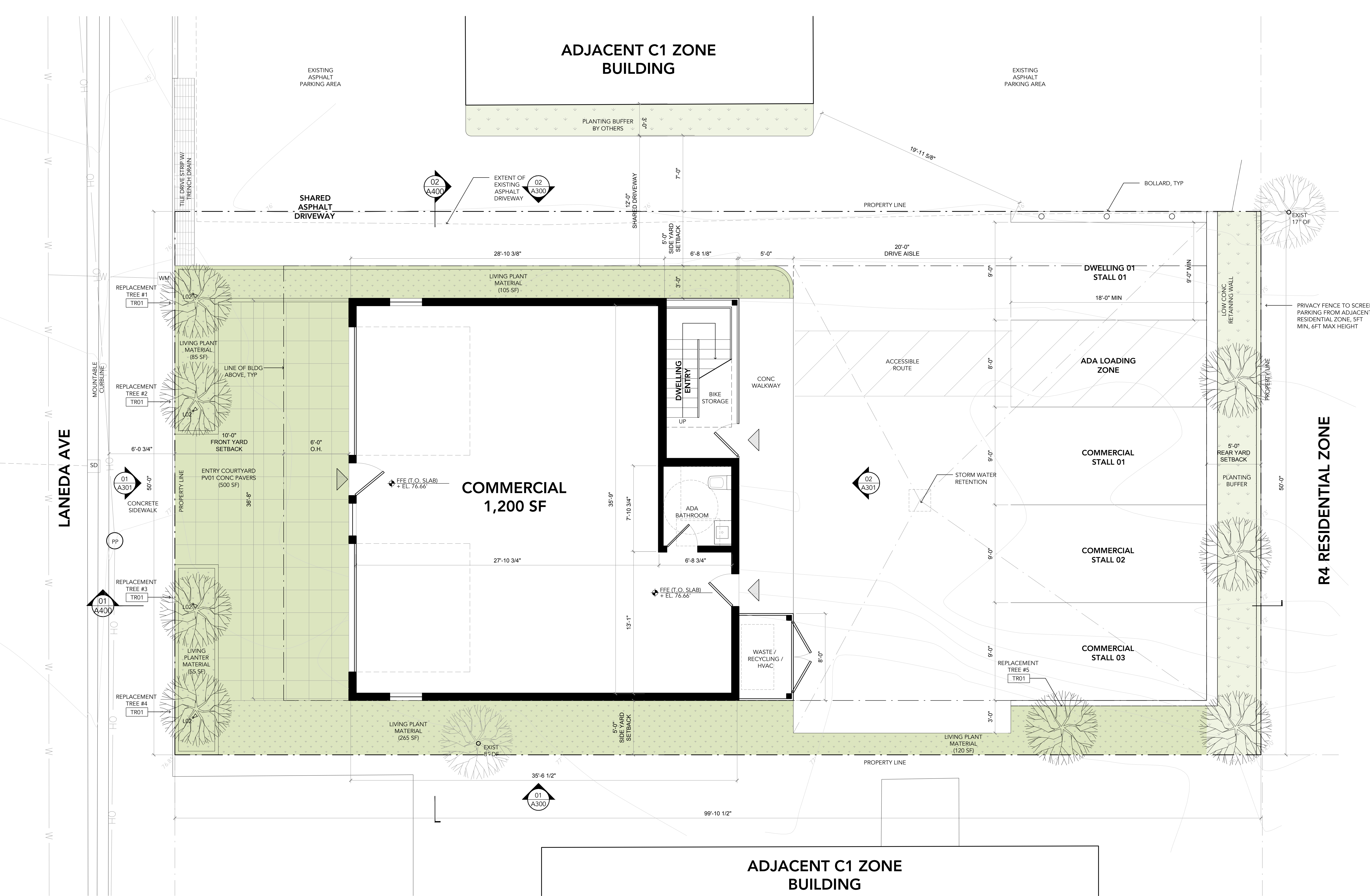


CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODDESIGN.COM

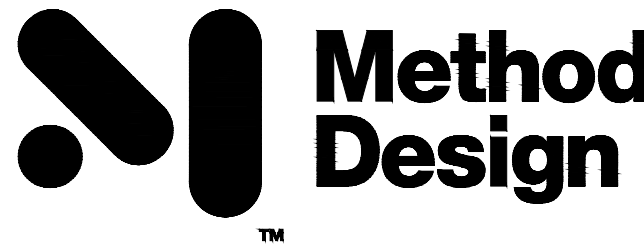


LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

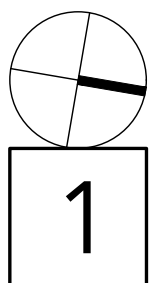
PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

FLOOR PLAN: MAIN LEVEL (COMMERCIAL)

SCALE: 1/4"



A201

FLOOR PLANS

LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM

LOT 13
LANEDA
MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE

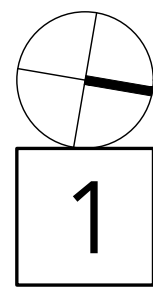
-

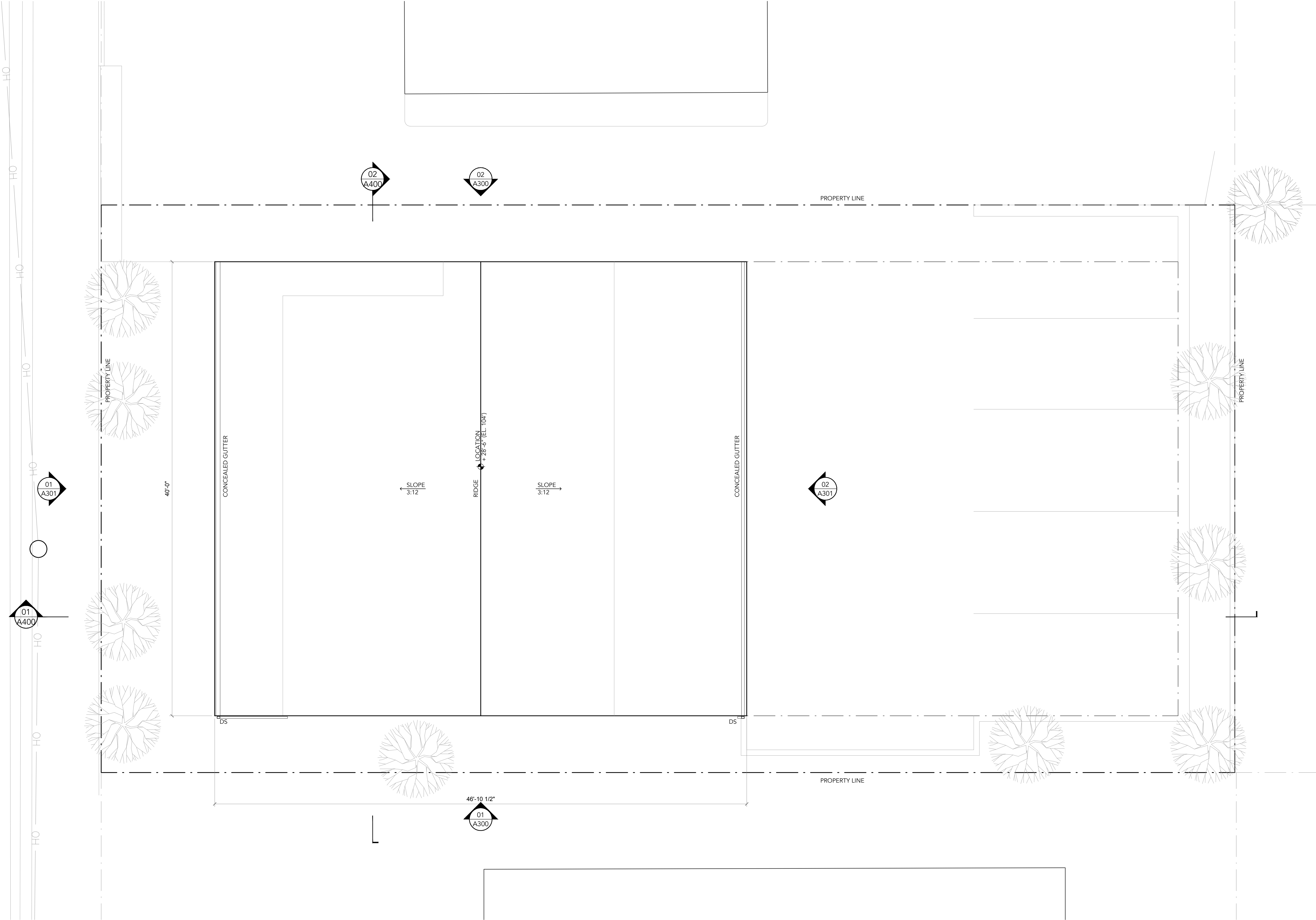
THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

A202
FLOOR PLANS

FLOOR PLAN: UPPER LEVEL (RESIDENTIAL)

SCALE: 1/4"



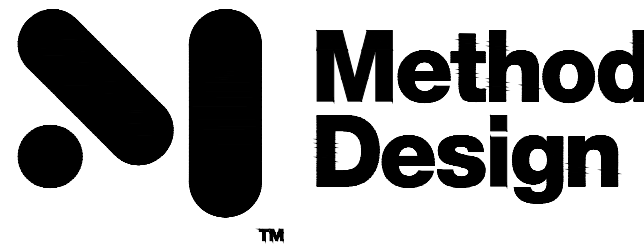


LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODDESIGN.COM

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

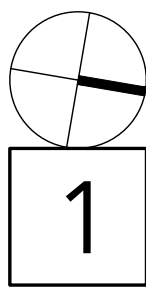
DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

ROOF PLAN
SCALE: 1/4"



A203

FLOOR PLANS

LEAD DESIGNER:

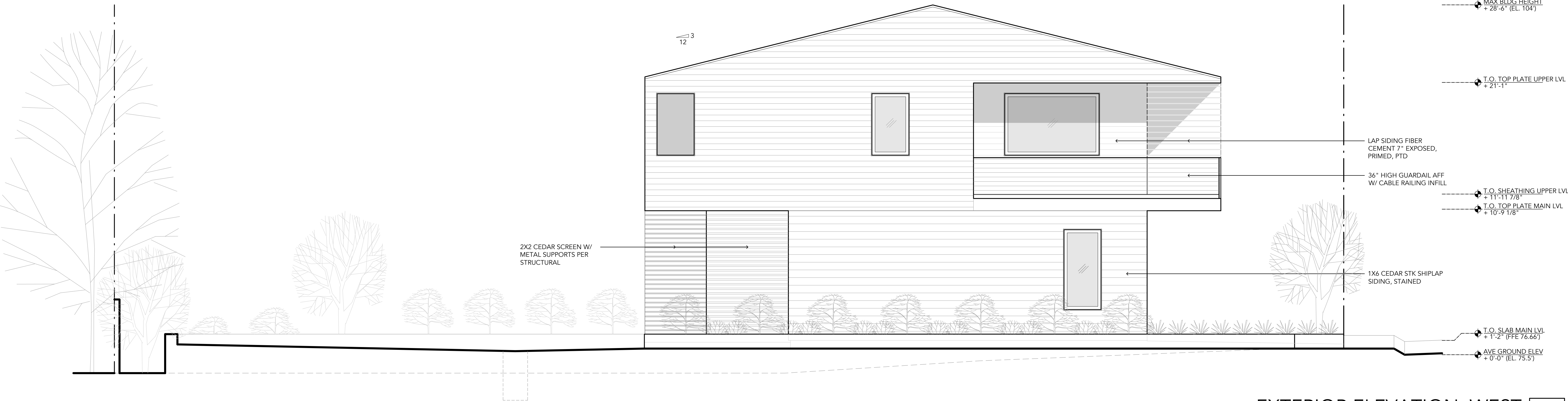


CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

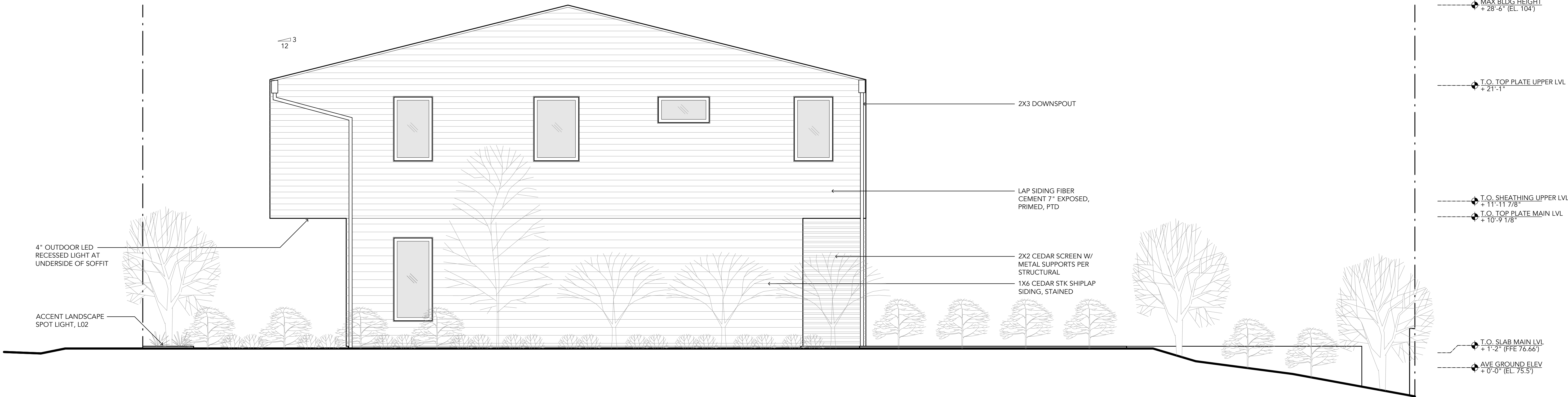
EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODDESIGN.COM



EXTERIOR ELEVATION: WEST 2
SCALE: 1/4"



EXTERIOR ELEVATION: EAST 1
SCALE: 1/4"

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

A300

EXT ELEVATIONS

LEAD DESIGNER:

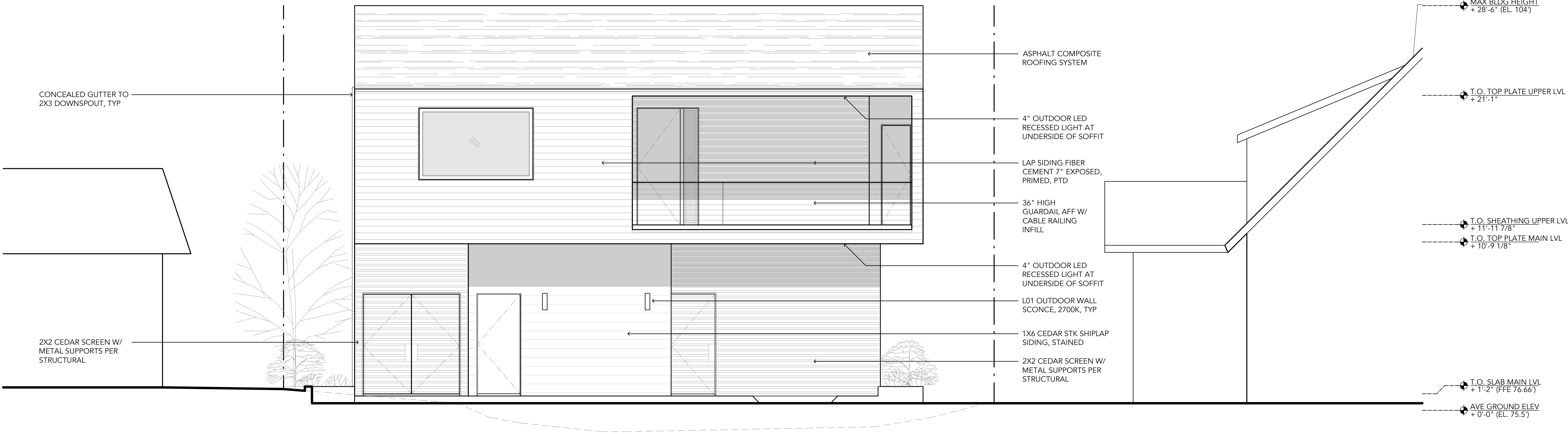


CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM



EXTERIOR ELEVATION: NORTH 2
SCALE: 1/4"



EXTERIOR ELEVATION: SOUTH 1
SCALE: 1/4"

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

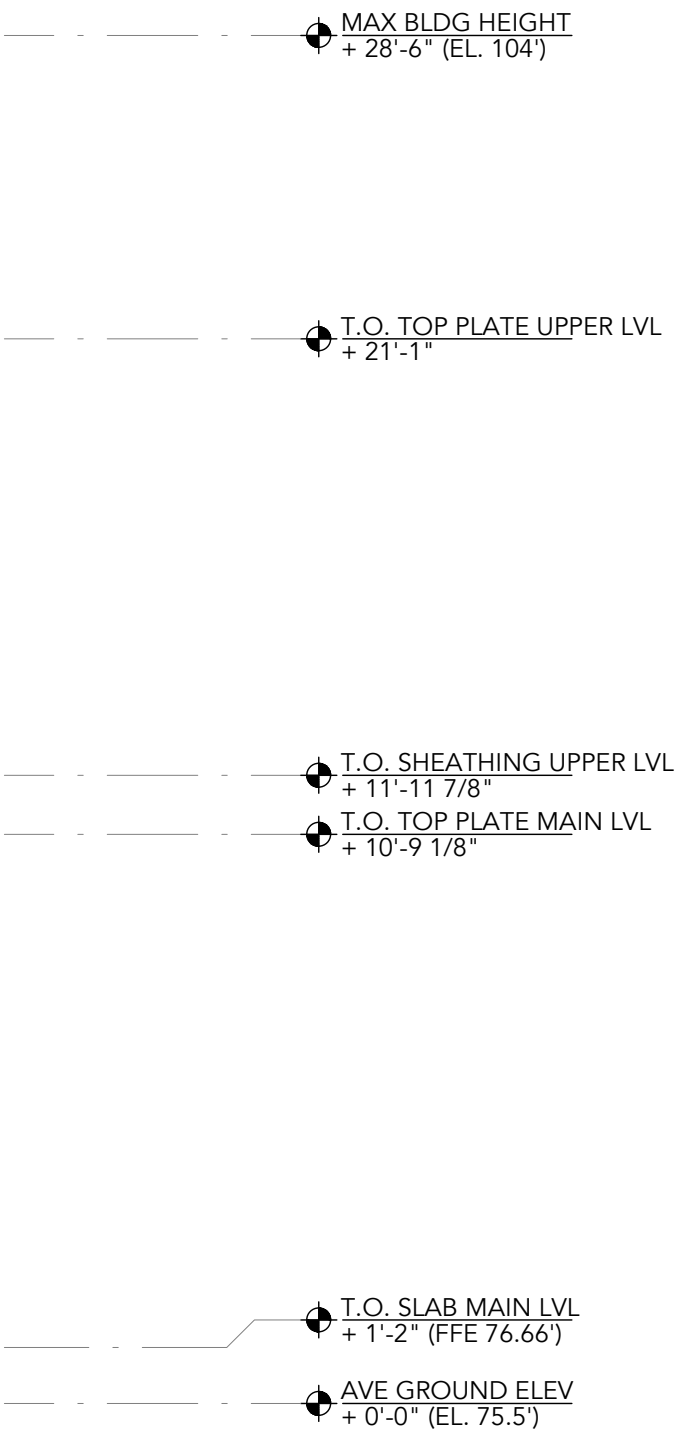
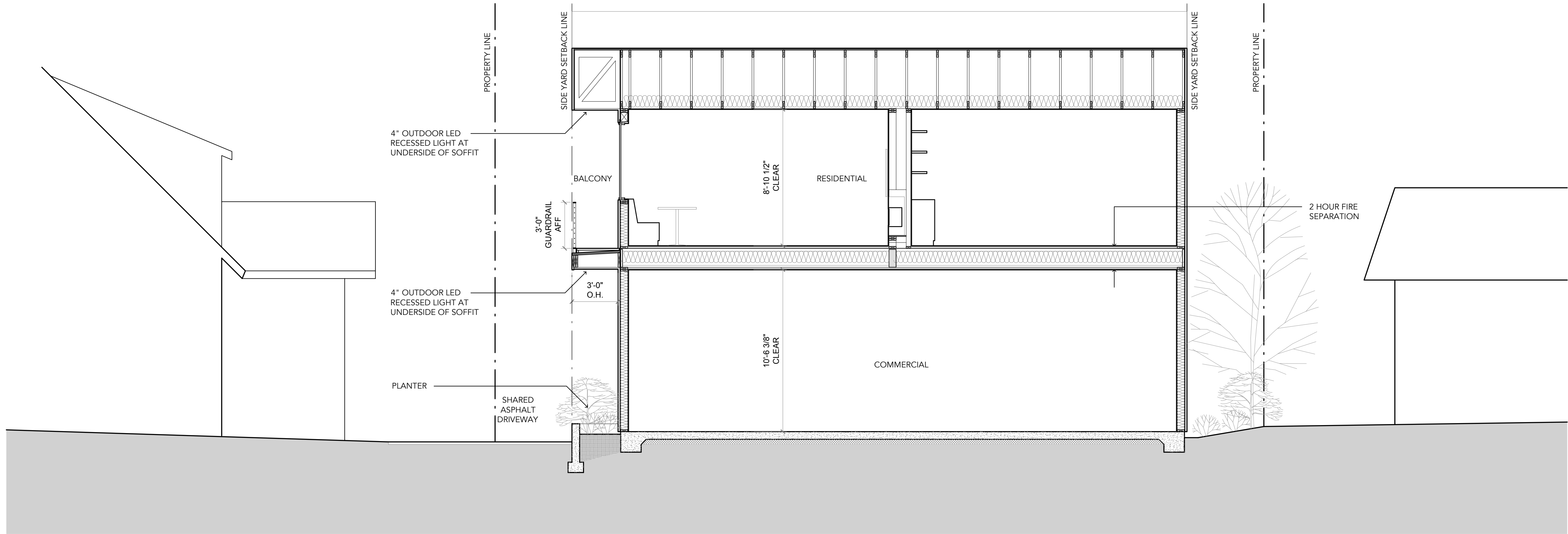
PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

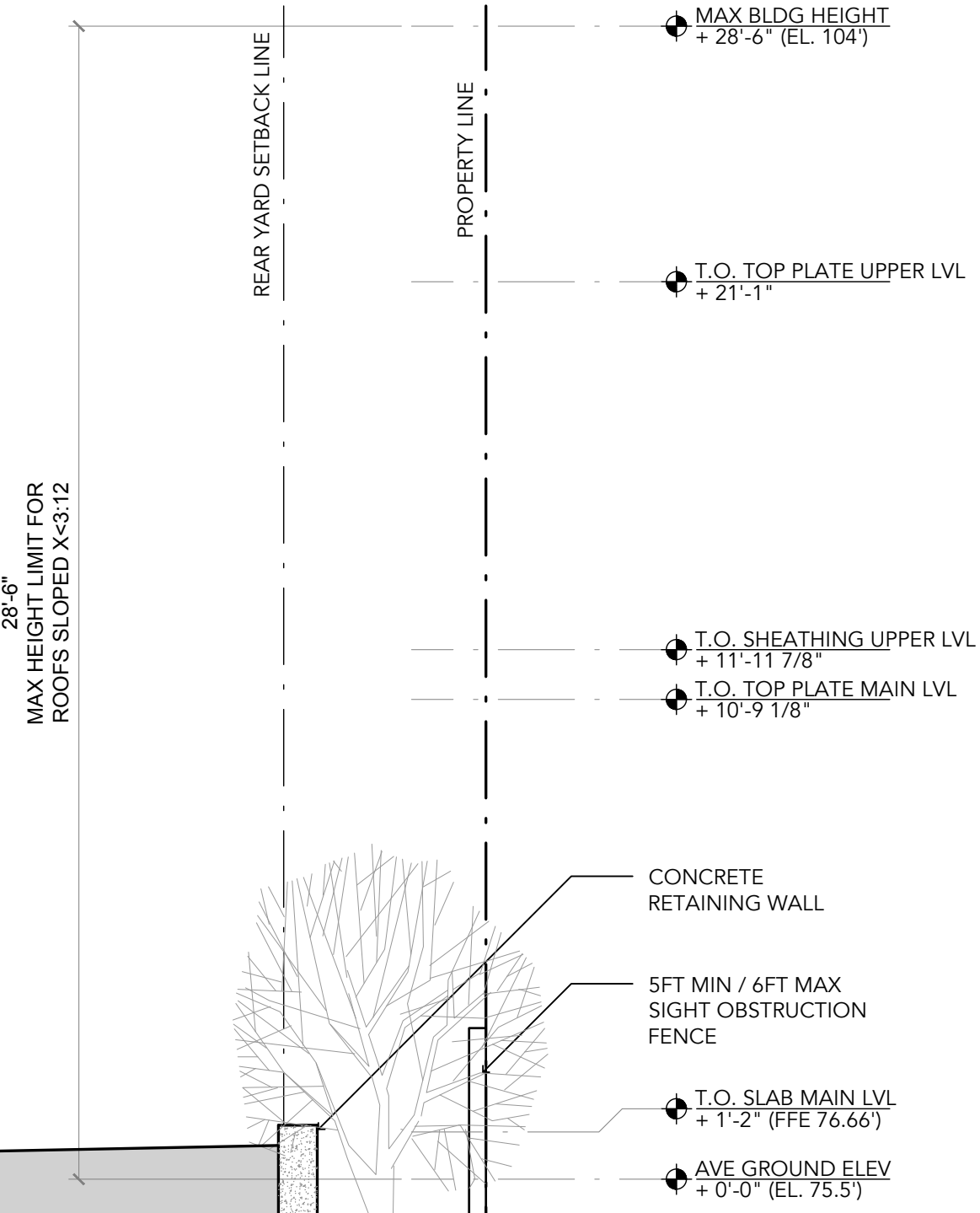
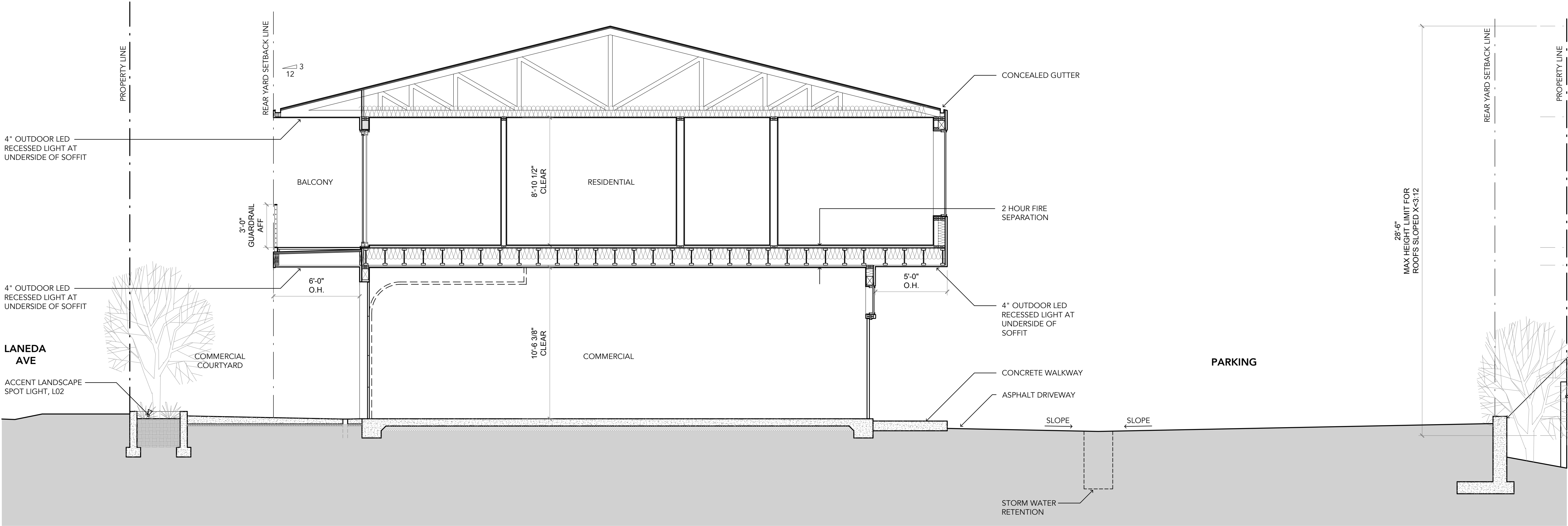
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF CENTERFIELD STUDIO, LLC AND MAY NOT BE DUPLICATED OR REPRODUCED WITHOUT THEIR CONSENT.

A301

EXT ELEVATIONS



TYP BUILDING SECTION: HORIZONTAL 2
SCALE: 1/4"



TYP BUILDING SECTION: LONGITUDINAL 1
SCALE: 1/4"

LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODDESIGN.COM

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

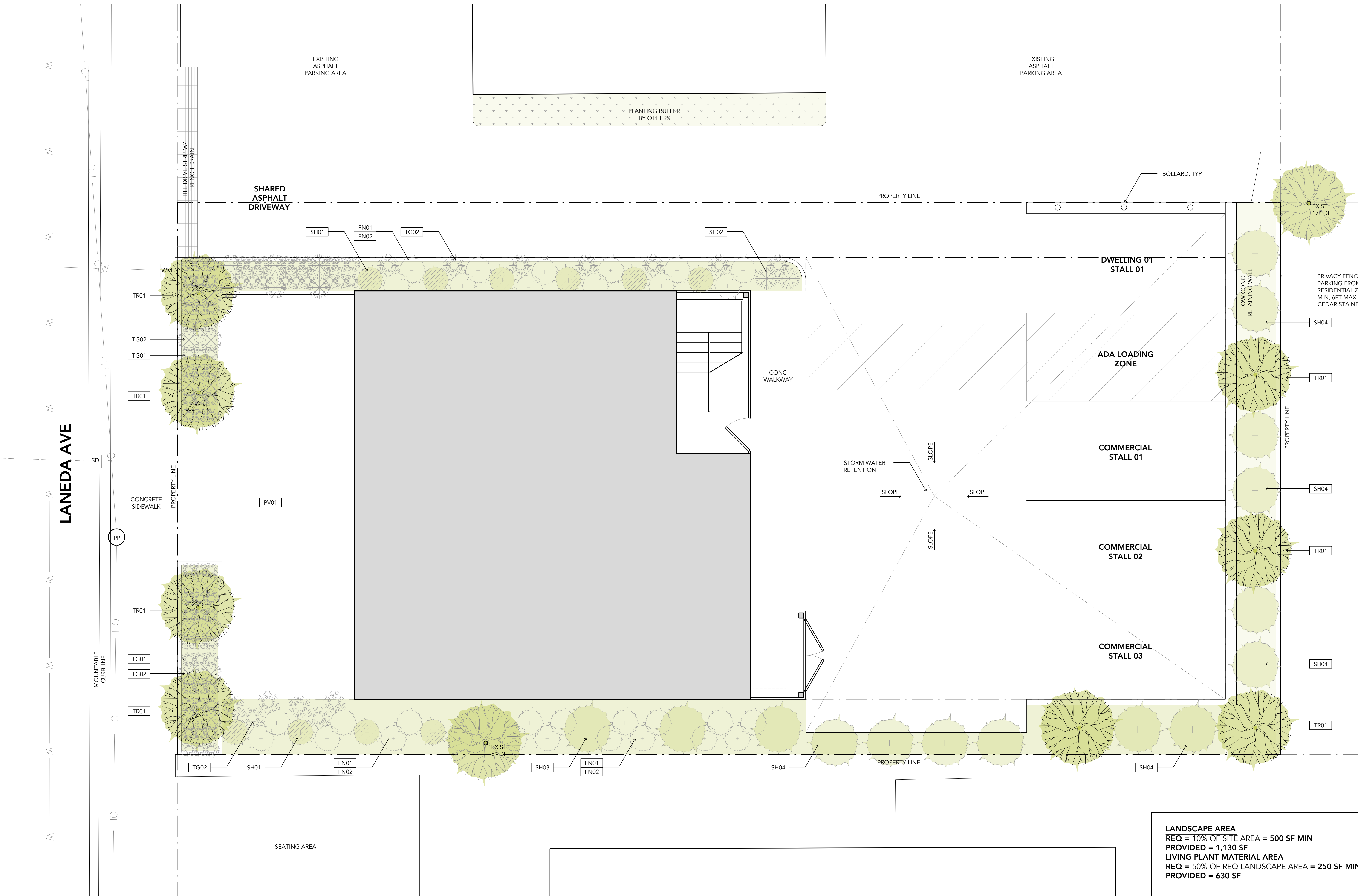
PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

A400

BLDG SECTIONS



TREES



TR01: Acer Circinatum
Vine Maple

GRASSES / SEDGES



TG01: Carex Obnupta
Slough Sedge



TG02: 'All Gold'
Japanese Forest Grass



TG03: Deschampsia
Cespitosa Tufted Hairgrass

SHRUBS



SH01: Arctostaphylos
Densiflora 'Harmony'
Manzanita



SH02: 'Nikko Blue'
Hydrangea



SH03: Vaccinium
Parvifolium 'Red
Huckleberry'



SH04: Salix Hookeriana
Hooker 'Coast' Willow

FERNS

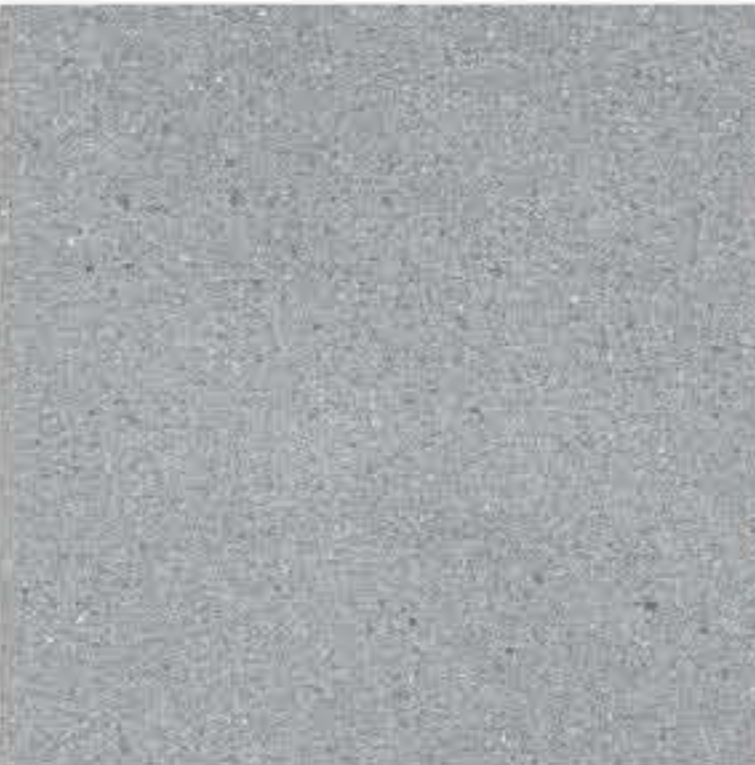


F01: Pteridium Aquilinum
Western Bracken Fern



F02: Polystichum Munitum
Sword Fern

HARDSCAPE



PV01: 2x2 Acid Etched
Concrete Pavers



AGG01: Premium Polished
Black Rock 3/8"

LIGHTING



L01: 5"x14.25" LED Outdoor
Wall Sconce, 65W, Black



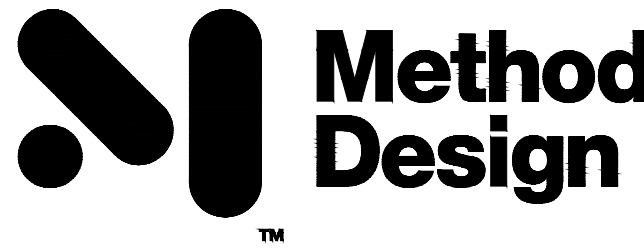
L02: 3 1/4" LED Accent Spot
Light, 5W, 2700K, Black

LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM

LOT 13
LANEDA
MIXED-USE
LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

L2
LANDSCAPE

LEAD DESIGNER:

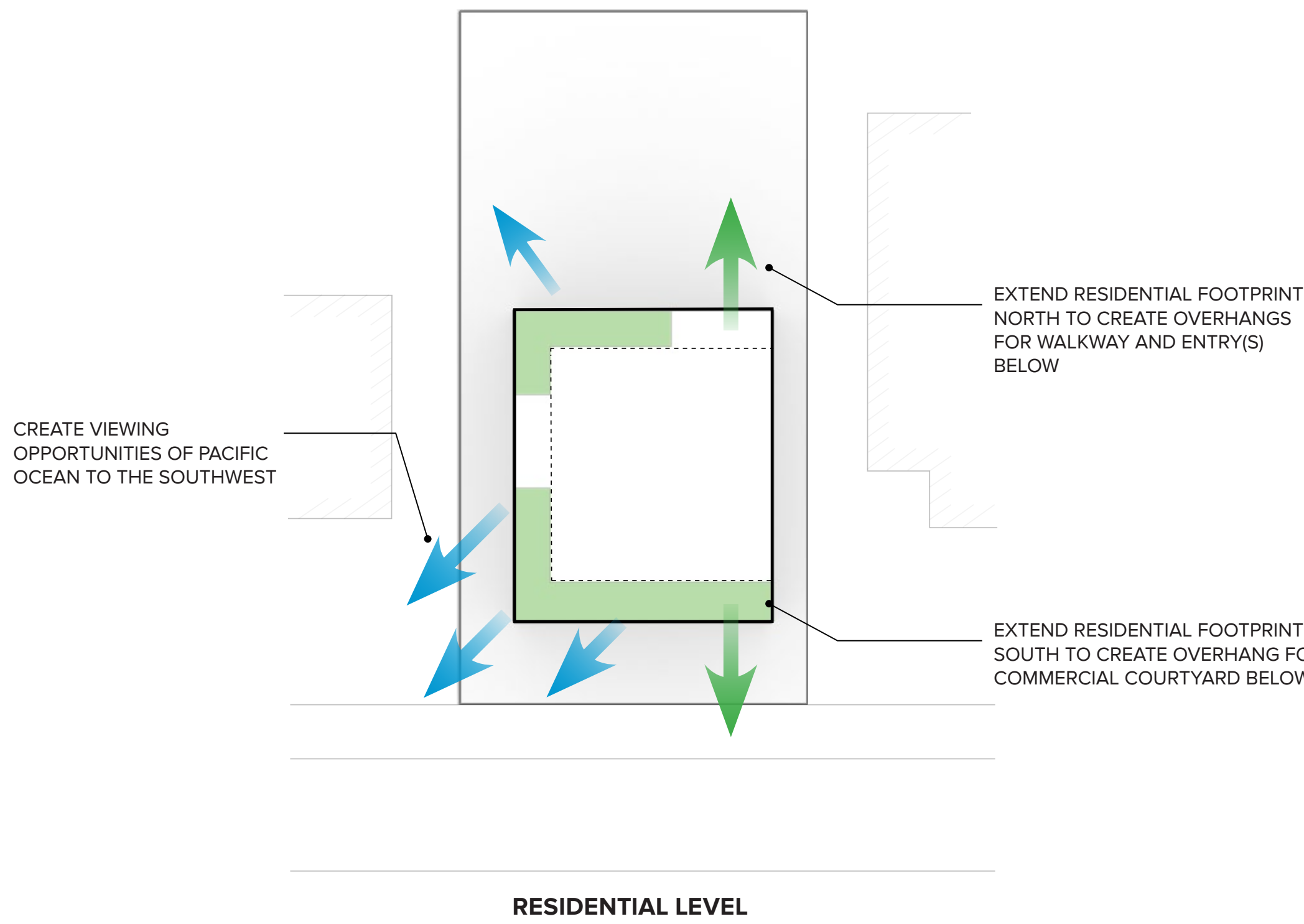
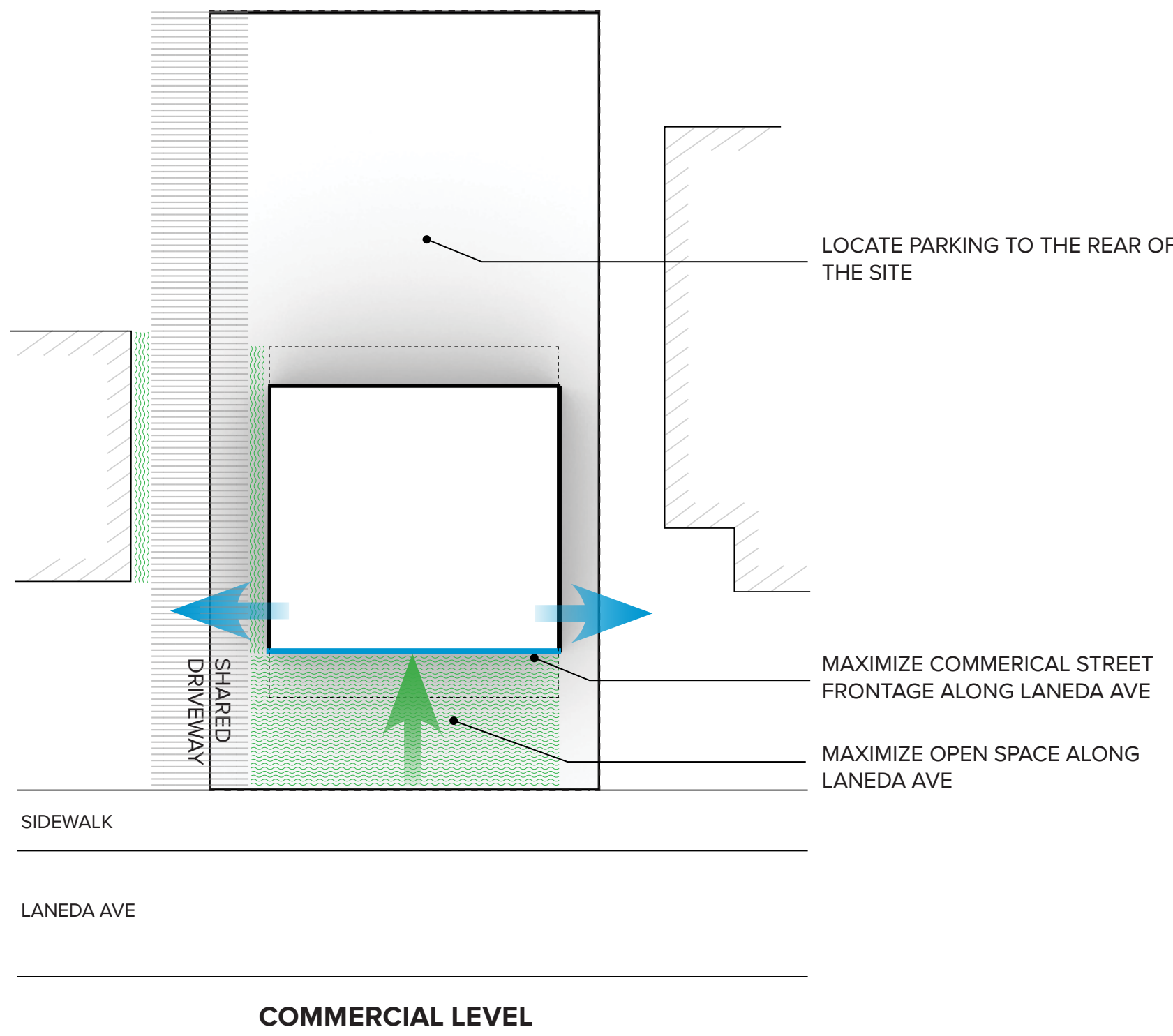
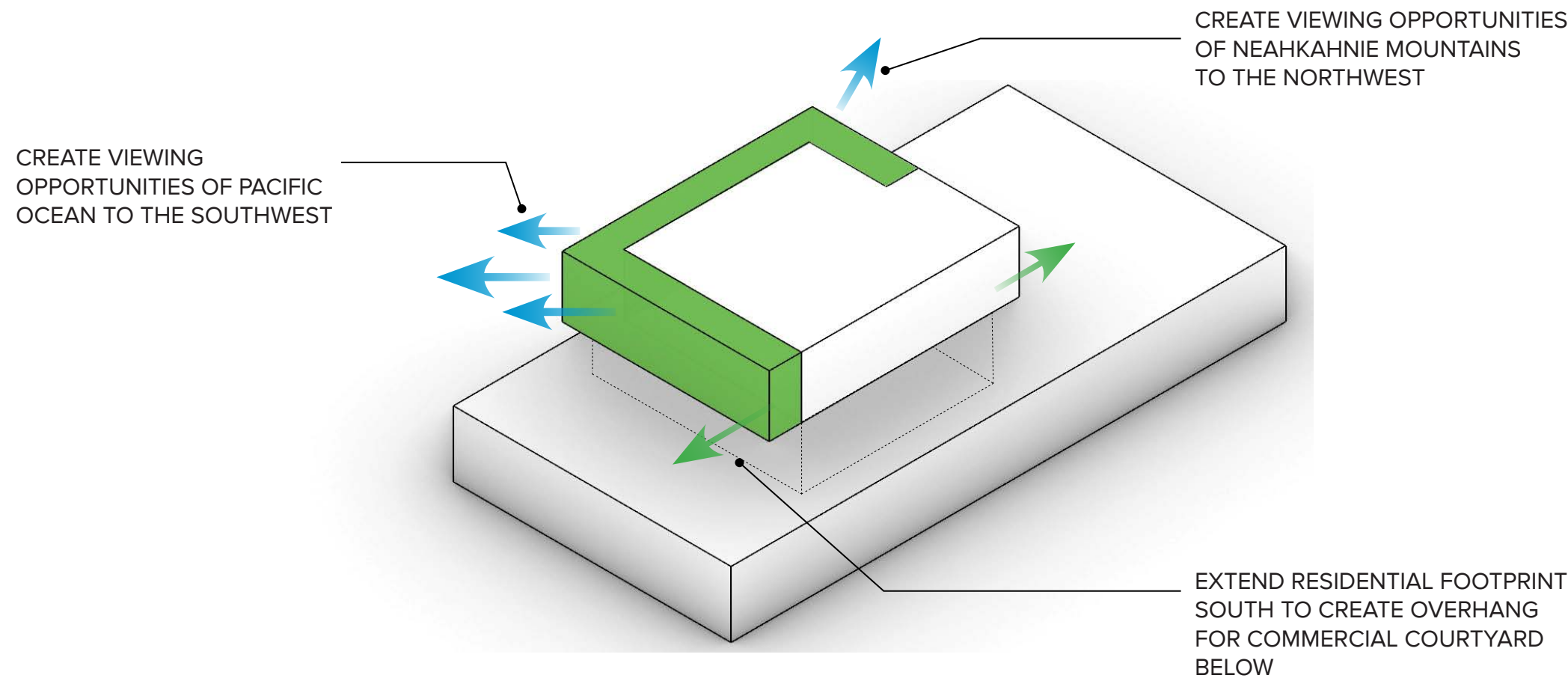
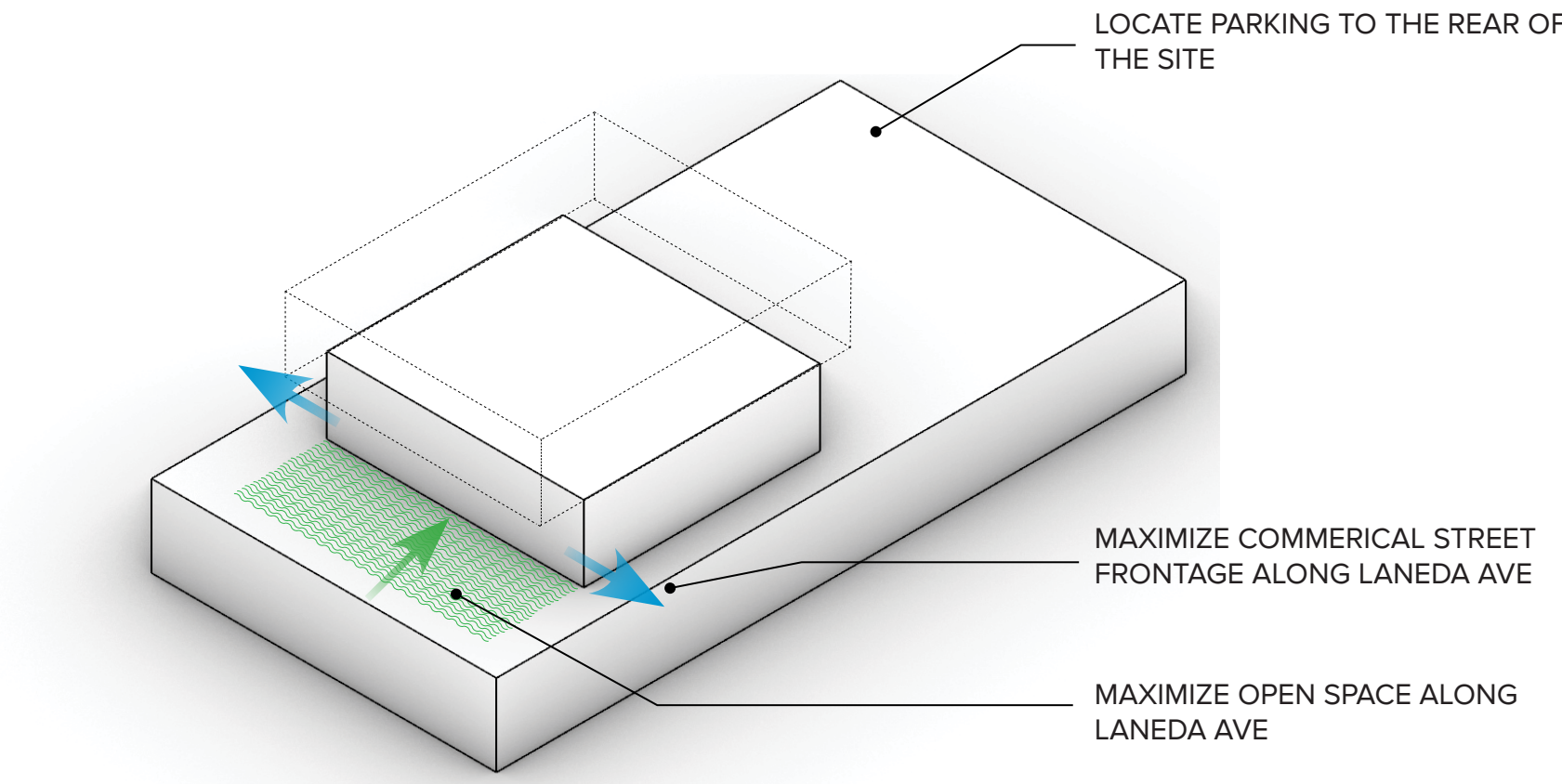


CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODDESIGN.COM



LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

LEAD DESIGNER:

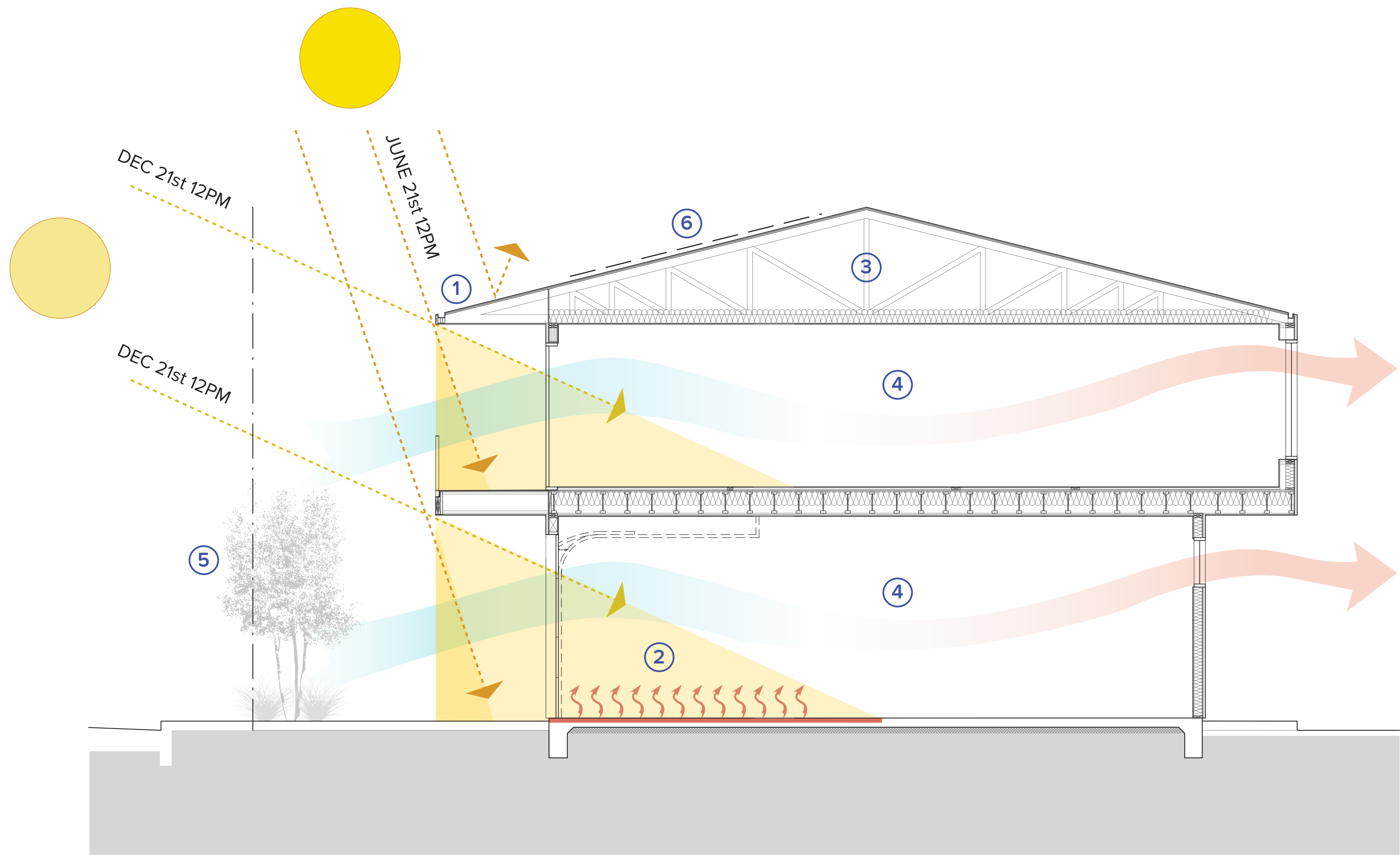


CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM



- 1 LONG SOUTH AND WEST FACING EAVES PREVENT OVERHEATING DURING SUMMER / WHILE ALLOWING WINTER SUN TO PENETRATE INTO INTERIORS
- 2 CONCRETE FLOORS ABSORB RADIANT ENERGY FROM LOW ANGLED SUN. INTERNAL TEMPARATURES RANGE FROM APPROX 17-24 DEGRESS DURING WINTER MONTHS
- 3 HIGH INSULATION VALUES MINIMIZE HEAT TRANSFER TO AND FROM INTERIOR OF BUILDING
- 4 OPERABLE WINDOWS ON ALL SIDES OF BUILDING ALLOW FOR CROSS VENTILATION AND SUFFICIENT AIR CIRCULATION
- 5 DECIDUOUS TREE PLANTINGS ALLOW FOR SHADE IN SUMMER MONTHS AND REDUCED RADIANT HEAT GAIN AT PAVED ENTRY COURTYARD
- 6 POTENTIAL FOR SOUTH FACING SOLAR COLLECTION

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF CENTERFIELD STUDIO, LLC AND MAY NOT BE DUPLICATED OR REPRODUCED WITHOUT THEIR CONSENT.

LEAD DESIGNER:

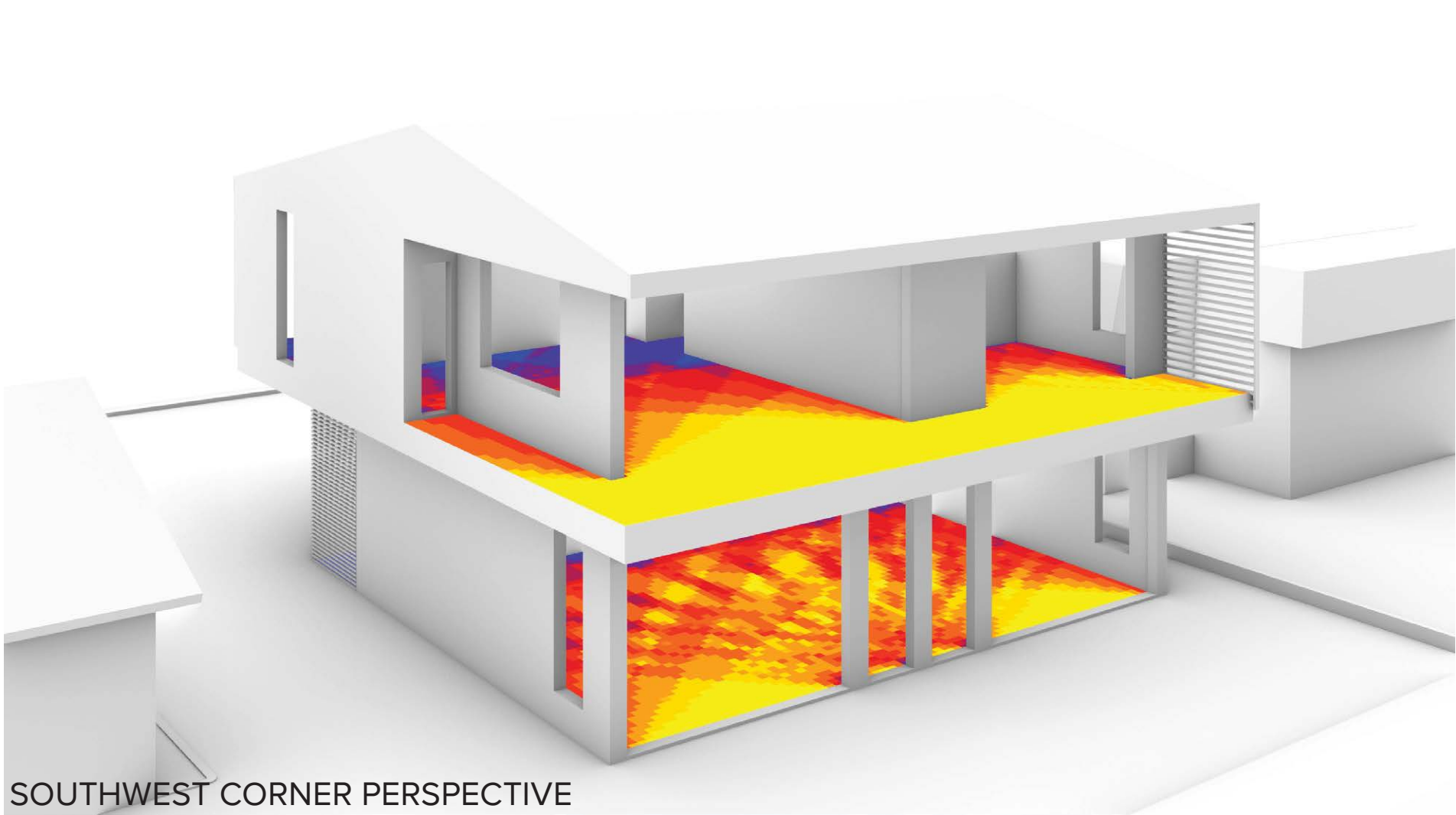


CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

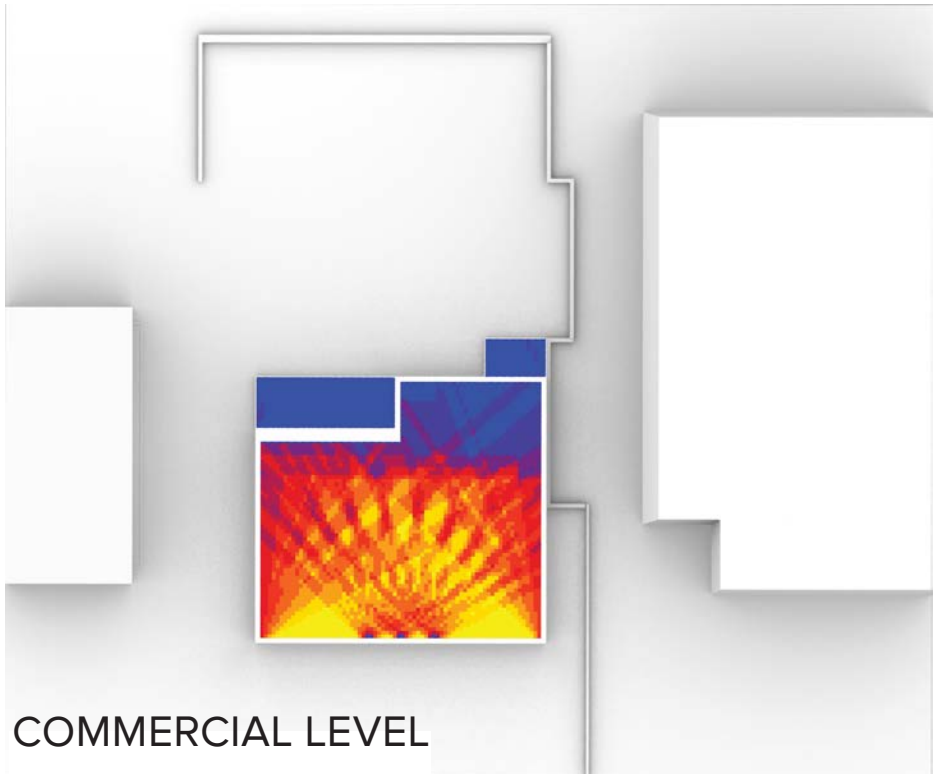
EXECUTIVE ARCHITECT:



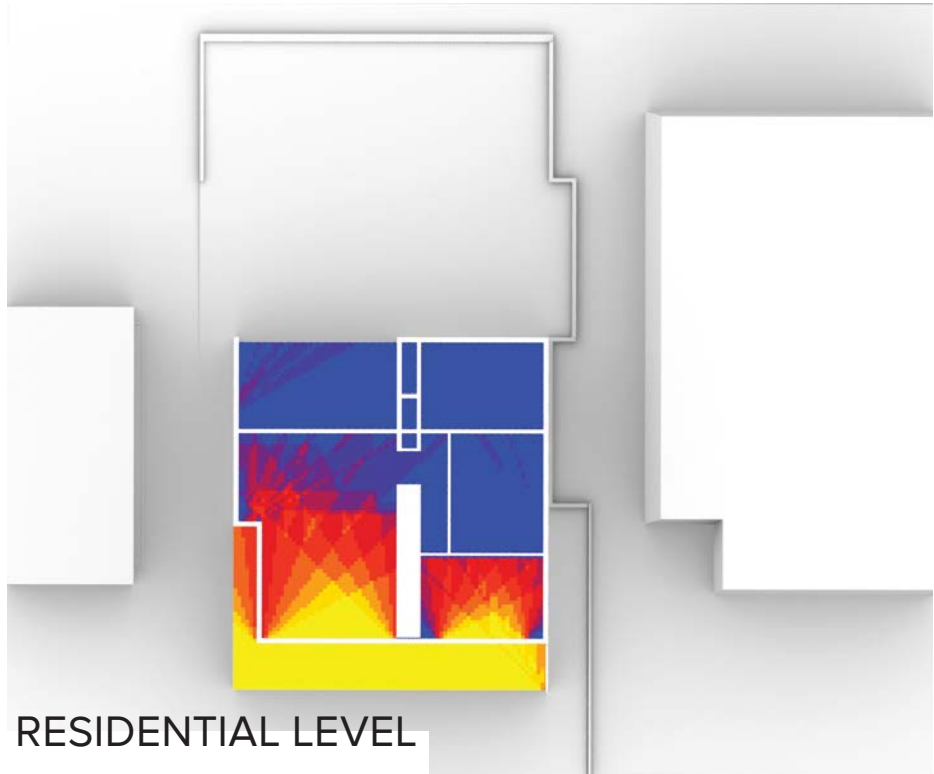
METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODDESIGN.COM



SOUTHWEST CORNER PERSPECTIVE



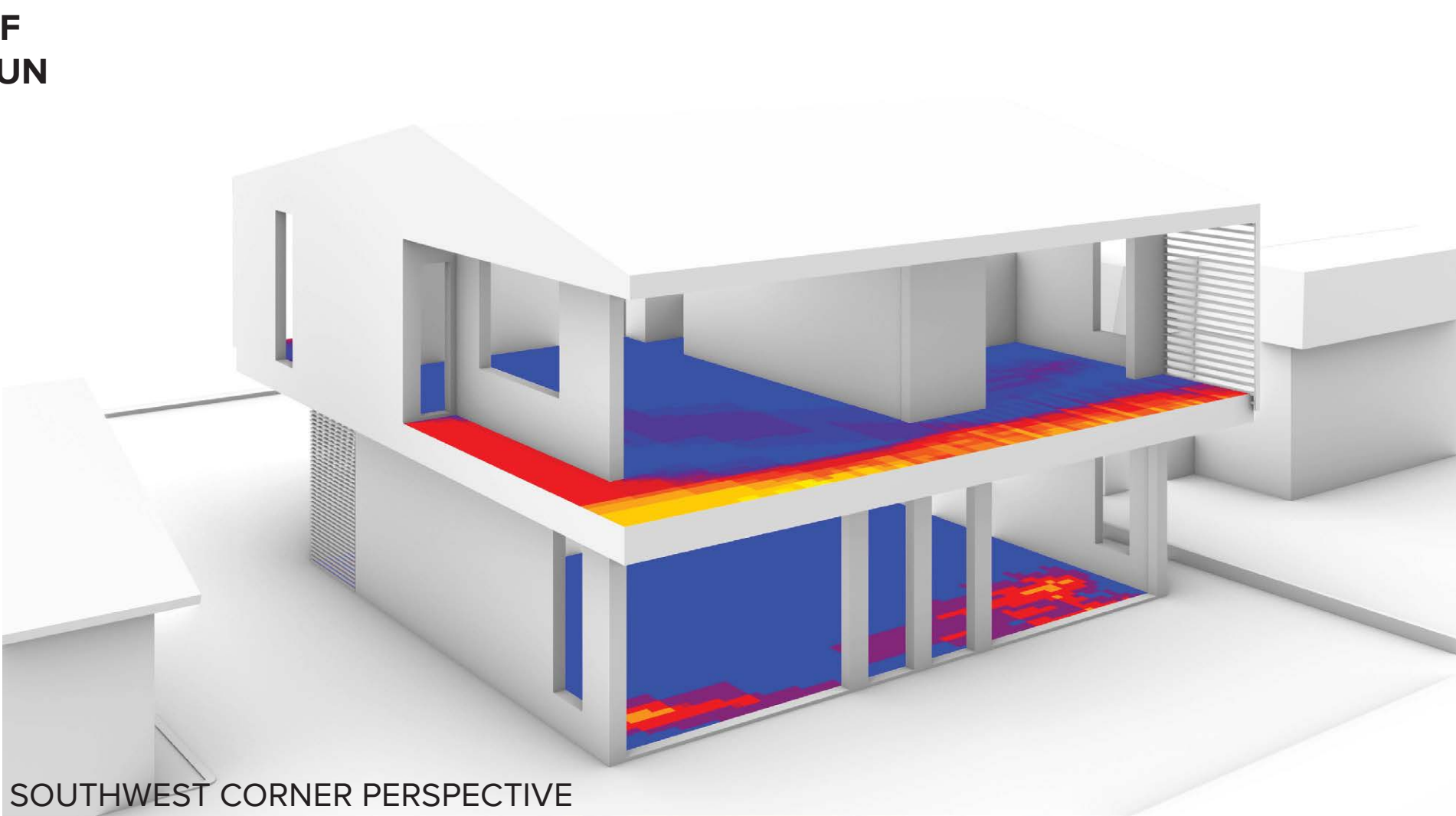
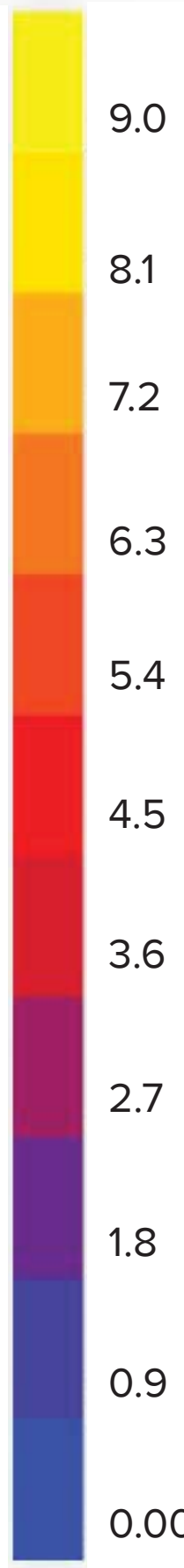
COMMERCIAL LEVEL



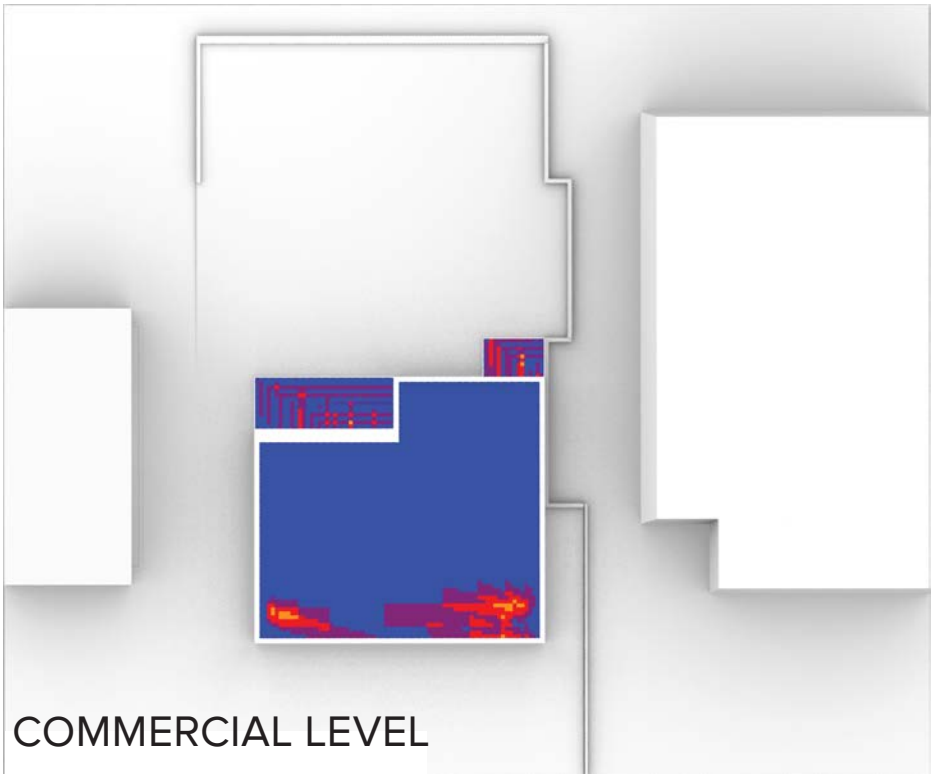
RESIDENTIAL LEVEL

TOTAL SUNLIGHT EXPOSURE ON **DEC 21**

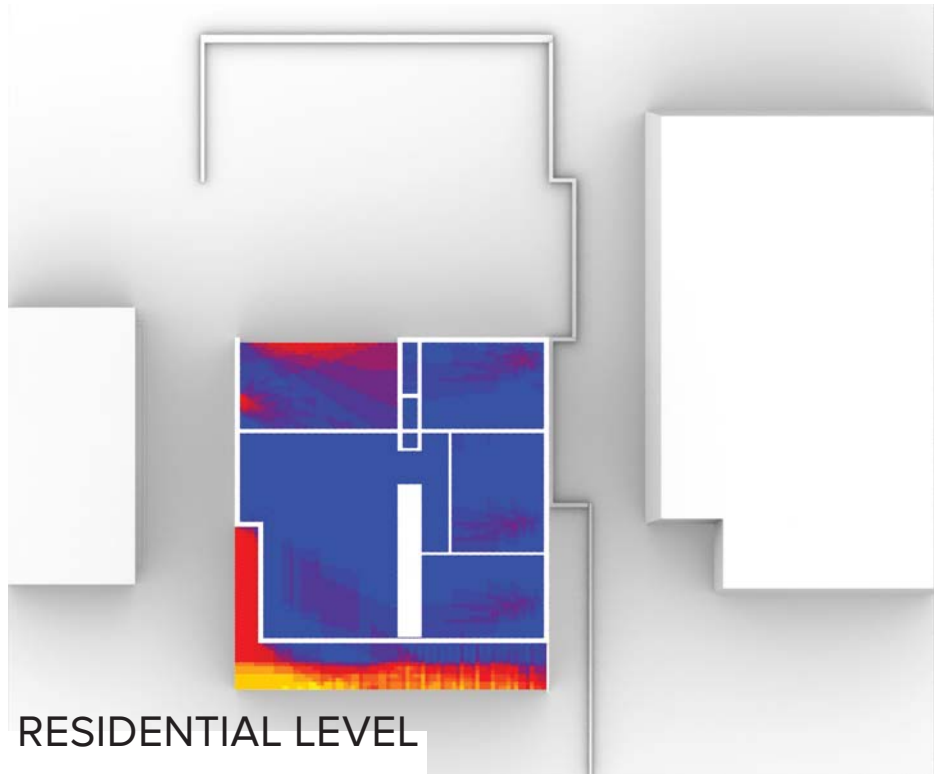
HOURS OF
DIRECT SUN



SOUTHWEST CORNER PERSPECTIVE



COMMERCIAL LEVEL



RESIDENTIAL LEVEL

TOTAL SUNLIGHT EXPOSURE ON **JUNE 21**

HOURS OF
DIRECT SUN



LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.



LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM

LOT 13 LANEDA MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE

-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

CONCEPT RENDERING: SW CORNER PERSPECTIVE
SCALE: NTS

1

A820

SUPPLEMENTAL



LEAD DESIGNER:



CENTERFIELD STUDIO, LLC
5392 TREE ST, LAKE OSWEGO OR, 97035
T:323.337.6967 / CENTERFIELDSTUDIO.COM

EXECUTIVE ARCHITECT:



METHOD DESIGN
ARCHITECTURE + URBANISM, PLLC
76 BEAVER STREET, FLOOR 02
T:646.559.4937 W:METHODESIGN.COM

LOT 13
LANEDA
MIXED-USE

LOT 13 LANEDA AVE
MANZANITA, OR 97130

DATE
JULY 15, 2021

PHASE
DESIGN DEVELOPMENT

REVISION NO / DATE
-

THIS DOCUMENT IS AN INSTRUMENT OF
SERVICE AND THE PROPERTY OF
CENTERFIELD STUDIO, LLC AND MAY
NOT BE DUPLICATED OR REPRODUCED
WITHOUT THEIR CONSENT.

CONCEPT RENDERING: NW CORNER PERSPECTIVE
SCALE: NTS

1

A821
SUPPLEMENTAL