City of Manzanita
P.O. Box 129
Manzanita, OR 97130-0129
Phone (503) 368-5343
Fax (503) 368-4145
building@ci.manzanita.or.us

LAND USE APPLICATION DEPARTMENT USE ONLY	
Permit No:	
Date Issued:	By:

SITE LOCATION:

ADDRESS:

220 Laneda Ave, Manzanita, OR 97130

MAP AND TAX LOT:

LOTS 3 AND 4, BLOCK 14, Manzanita Beach
SE 1/4, NW 1/4, SECTION 29, T3N R10W

ZONE:

☐ R-2 ☐ R-3 ☐ R-4 ☐ SR-R
☑ C-1 ☐ LC ☐ RMD

TYPE OF WORK:

☐ Accessory Structure
☐ House or Mobile Home
☐ Multi-family dwellings
☑ Commercial, Industrial
☐ Tree Removal: No Charge

TYPE OF APPLICATION:	BASE FEE:
☐ Administrative Review	$75.00
☐ Accessory Structure, Minor Review	$100.00
☐ House or Mobile Home	$250.00
☐ Multi-Family Dwelling	$250 + $25/Unit
☑ Commercial, Industrial, Other Projects	$650.00
☐ Variance	$450.00
☐ Partitions	$500.00
☐ Planned Unit Development	$1,400.00
☐ Subdivision	$1,200.00
☐ Lot Line Adjustment	$125.00
☐ Signs	$75 + $2 SQ/ FT
☐ Conditional Use	$625.00
☐ Site Plan Review	$625.00
☐ Zone Change	$625.00
☐ Comprehensive Plan Amendment	$1,000.00
☐ Vacations	$600.00
☐ Temporary Permit	$300.00
☐ Annexation	$1,000.00
☐ Amendment to Urban Growth Boundary	$1,000.00
☐ Pre-Application Conference	$225.00
Total:	**$650**
+ 5% Tech. Fee:	**$32.50**
Total Due:	**$682.50**

REQUIRED INFORMATION:

APPLICANT:

Name: Bob Carbaugh / Scott Edwards Architecture, LLP
Full Mailing Address: 2525 E Burnside St.
City: Portland | State: OR | Zip: 97214
Phone: 503-896-5369
Email: bcarbaugh@seallp.com

PROPERTY OWNER:

Same as applicant? ☐ Yes ☑ No
Name: Harder Coastal Holdings, LLC
Full Mailing Address: 9850 SE Main St.
City: Milwaukie | State: OR | Zip: 97222
Phone: 503-519-8190
Email: dharder@harder.com

LICENSED PROFFESSIONAL:

Same as applicant? ☑ Yes ☐ No
Business Name: Scott Edwards Architecture, LLP
Address: 2525 E Burnside St
City/State/Zip: Portland, OR 97214
Phone: 503-896-5369 | Fax:
E-mail: bcarbaugh@seallp.com
license no.: | City Lic. No.:
Contact Name: Bob Carbaugh | Phone #: 503-896-5369

REQUIRED DOCUMENTS FOR APPLICATION

Required documentation to be determined by Staff.

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REQUIRED BUILDING PERMIT DOCUMENTATION

ALL DOCUMENTS MUST BE SUBMITED IN PDF FORMAT

E-MAIL DOCUMENTS TO: building@ci.manzanita.or.us

Incomplete applications may delay the processing of permits

Plans- drawn to scale, showing conformance to the applicable state or local building codes. Lateral wall design details and connections must be incorporated into the plans with cross- references between plan location and details. Plan review cannot be completed if copyright violations are evident.

Site Plan drawn to scale. The plan must show frontage street name, lot dimensions and building setback dimensions, total lot coverage percentage, property elevations, location of easements and driveway, location of 2-9'x18' parking spaces, driveway apron width, footprint of all structures (new & existing), all utility lines – indicate if above/below ground, any known fill sites, direction of drainage from structure, downspouts, drywell/infiltration location, trees to be removed/re-planted, and new & existing retaining walls.

Foundation Plan and Cross Section. Show footing and foundation dimensions, anchor bolts, any hold-downs and reinforcing steel, connection details, foundation vent size and location, and soil type.

Floor Plans. Show all dimensions, room identification, door and window sizes and locations, location of **smoke and carbon monoxide detectors**, water heater, HVAC equipment, ventilation fans, plumbing fixtures, balconies, and decks 30 inches above grade.

Cross Section(s) and details. Show all framing member sizes and spacing such as floor beams, headers, joists, sub-floor, wall construction, roof construction. Show all details of all wall and roof sheathing, roofing, roof slopes, ceiling height, siding material, footings and foundation, stairs, fireplace construction, thermal insulation, etc.

Elevation views. Provide elevations for new construction: minimum of two elevations for additions and remodels. Exterior elevations must reflect the actual finished grade. Average finish grade, measured at the mid-point of all 4 sides 5' out from the foundation, must be shown on all sides.

Wall Bracing (prescriptive path) and/or lateral analysis plans. Building plans must show construction details and locations of lateral brace panels; for non-prescriptive path analysis provide specifications and calculations to engineering standards. **All pages for such engineering shall be stamped by an Engineer or Architect licensed in the State of Oregon.**

Floor Roof Framing Plans are required for all floors/roof assemblies indicating member sizing, spacing, and bearing locations, nailing and connection details. Show location of attic ventilation.

Basement and retaining wall cross sections and details showing placement of reinforcing steel, drains and waterproofing (vapor barrier) shall be provided. Engineering plans are required for retaining walls exceeding 4ft in height and basement walls not complying with the prescriptive code requirements.

The above items must be submitted before the plan review can be started. Minor changes or notes on submitted plans may be in blue or black ink. ***Red ink is reserved for department use only.***

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STAFF REPORT

TO: Manzanita Planning Commission

FROM: Walt Wendolowski, Contract Planner

SUBJECT: Planning File – Restaurant Design Review (Steeplejack)

DATE: September 12, 2022

I. BACKGROUND

A. APPLICANT: Harder Holdings Coastal, LLC (Steeplejack Brewing).

B. PROPERTY LOCATION: The subject site is located on the southside of Laneda Avenue, approximately 100-feet west of the South 3rd Street intersection. The property address is 220 Laneda and the Assessor map places the property within Township 3 North; Range 10 West; Section 29BD; Tax Lot #18100. The site is also identified as the Manzanita Beach Subdivision, Block 14, Lot 3.

C. PARCEL SIZE: The subject site contains 5,000 square feet.

D. EXISTING DEVELOPMENT: The lot contains two buildings, fronts a public street, and is served by public sewer and water. The site contains minor slopes.

E. ZONING: The parcel is zoned Commercial (C-1).

F. ADJACENT ZONING AND LAND USE: Property to the west, north and east is also zoned C-1 and contains a mix of commercial businesses. Land to the south is zoned High Density Residential/Limited Commercial (R-4) and will be developed with a single-family subdivision (Merton Lane subdivision).

G. REQUEST: The applicant is requesting Design Review approval to construct a restaurant.

H. DECISION CRITERIA: This application is evaluated against the design review standards listed in Sections 4.080, 4.090 and 4.137 through 4.156 of Ordinance 95-4, and the standards for the Commercial (C-1) zone listed in Section 3.040 of Ordinance 95-4.

II. APPLICATION SUMMARY

A. The subject Tax Lot is part of the Manzanita Beach Subdivision and is composed of Lot 3 and Lot 4 of Block 14. The applicant submitted two project applications, one for each subdivision lot. As this is a recorded subdivision, it is staff's understanding that these lots remain discrete properties and may develop independently from each other. This application and report focus on the proposed development of Lot 3.

B. Upon removing the existing structures on Lot 3, the applicant wishes to construct a restaurant on the site that will feature the following:

1. Steeplejack Brewing Company will occupy the site. This location only contains a restaurant and will not include brewing facilities.

2. The structure features three levels topped with a metal roof. Dining functions are at the street level floor and top floor. The top floor also includes roof deck seating that can be available, weather permitting. The primary exterior finish is vertical red cedar siding, with ancillary metal and glass trim.

3. The existing steep slope of the site creates a daylight basement serving the kitchen, utility and back of house storage needs. This level features cast-in-place board form concrete with a natural finish. The sloping site effectively conceal utility functions from the view of Laneda Avenue such as propane tanks and the electrical transformer.

4. A shared 10-foot driveway separates Lot 3 and Lot 4. This driveway includes an easement for maintenance access to the utility services at the rear of the lot and for accessing the dedicated three dedicated parking spaces. The parking lot located on this site is dedicated by easement for the adjacent lot (Lot 4) and is not required for restaurant or adjacent retail use. The driveway and parking area and walkways will be improved with pervious paving stones to assist in storm drainage.

5. Both this site and the adjacent lot were designed at the same time and by the same design and construction teams. However, each project is reviewed independently as the projects are located on separate lots.

C. The City sent notice of this application to area property owners and affected agencies. No comments were received at the time of this report.

D. Per Section 3.040(1)(e), the C-1 zone permits restaurants and lounges. Further, Section 4.152.2, requires a Design Review for all new construction. This action is subject to a public hearing and review by the Planning Commission.

III. CRITERIA AND FINDINGS –DESIGN REVIEW

A. Section 3.040(3) of Ordinance 95-4 contains the development requirements for the C-1 zone. The following summarizes items applicable to the request:

1. The proposed building meets the minimum setback requirements of 10-feet for the front yard, and 5-feet for the remaining yards.
2. The City Building Official determined the building does not exceed the maximum 28-feet 6-inch height limitation of the zone.
3. At least 10% of the 5,000 square foot site must be landscaped, or a minimum of 500 square feet. The site plan identifies 537 square feet of landscaping with an additional 1,117 square feet of improved open space (walkways, patios, etc.).
4. Signs, awnings, marquees, and sidewalk coverings shall extend not more than 10-feet from a building or more than 5 feet over a sidewalk, whichever is less. No part of the building violates these limitations.
5. The site improvements work with the existing terrain to optimize the natural slope of the site to drain stormwater. Infiltration planters combined with parking lot permeable pavers manage the site's stormwater load.
6. The Ordinance requires a design review which is addressed in the following sections of this report.
7. The Floor Area Ratio of this project is 0.618. This ratio does not exceed the 0.65 limit for the C-1 zone.
8. Signs must conform to Ordinance requirements. The applicant may address this as a separate permit.

Based on the above findings, the building conforms to the basic development provisions of the C-1 zone.

B. Sections 4.080 establishes the City's parking requirements with standards found in Section 4.090. Section 4.090.2 states: "Development of no more than two (2) retail, restaurant or office spaces on lots of 5,000 square feet or less in the C-1 or L-C zones will require no parking spaces in excess of that required by the Americans with Disabilities Act [ADA] or required by Section 4.090(3)(b) below.

FINDINGS: The subject lot will contain a single commercial space and contains no more than 5,000 square feet in area. Therefore, parking is not required for the restaurant.

The site contains three parking spaces – one ADA van space and two regular spaces. The City contacted Northwest Code Professionals – consultants for commercial building inspection - regarding ADA requirements. Per the Building Code, only one ADA van space is required for developments with 1 to 25 vehicle parking spaces.

To determine applicable ADA parking for this (and the adjacent lot), staff combined the parking requirements for all businesses on both lots, without consideration of the 5,000 square foot limitation. The result:

Use	Measurement	Use Size	Required Spaces
Restaurant	1 per 400 square feet	3,198	8
Retail	1 per 400 square feet	2,167	6
Hotel	1 per 400 sf room 1.25 for >400 sf room Plus 2 for manager	2 units 1 unit	2.00 1.25* (1.00) 2.00 5 Total Spaces
		TOTAL	**19**

*Per Section 4.080, this can be rounded down to 1.00 space

As less than 25 spaces would be needed, only one ADA van space is required. Since parking is not required for the restaurant, or retail space on Lot 4, (based on lot size), only parking is required for the hotel, in this case 5 spaces. To clarify, except for the ADA van parking, vehicle parking spaces are not required for the restaurant (or adjacent retail space). The staff report related to Lot 4 reviews the details regarding hotel parking.

C. Provisions in Sections 4.137 to 4.142 address site plan reviews (4.137), the use of fill for structural elevation (4.138), parking structures in the front yard (4.141) and matters regarding trees (4.142).

FINDINGS: This application and process are consistent with provisions in Section 4.137 which describe the submittal requirements. While site grading is necessary, only minor fill is required to construct the building (Section 4.138). Proposed parking spaces are located in the rear yard while the front yard is appropriately improved with vegetation and landscaping material (Section 4.141). While there are no existing trees on site, additional plantings (Oregon grape, wax myrtle and rhododendron) will be placed along the perimeter (Section 4.142).

D. Section 4.150 identifies the purpose of the design review process:

"The purpose of Sections 4.150 through 4.158 is to provide design standards for commercial and mixed-use development in Manzanita's commercial zones and in the High Density Residential/Limited Commercial zone. Design review provides aesthetic judgment over development projects in order to maintain the unique character of the community by keeping buildings to human scale and reflecting the natural beauty of the city's setting, to encourage the traditional style of the Pacific Northwest, and to protect the viability of the commercial zones. The standards provide for originality, flexibility and innovation in site planning and development and encourage development where structures, use areas, artistic expression and site elements are integrated in a manner that is harmonious within the site and with adjacent properties. Design review criteria shall be applicable to all new construction, alteration of site improvements, or exterior

alteration of commercial and mixed-use development in the C-1, LC, and R-4 zones."

FINDINGS: Section 4.150 seeks to determine whether the proposal maintains the unique characteristics of the community. Building size and allowable area comply with the City of Manzanita's Zoning Ordinance. The structure is designed to create interaction between customers and pedestrians. The arrangement of the building responds to the surrounding neighborhood with a focus on restaurant activity at the front (Laneda) of the site. Kitchen functions, parking dedicated to the small hotel use on adjacent lot, and utilities are located on the back side of the property at the end of the driveway. These functions are screened and buffered from view by from neighboring properties with fences, an existing retaining wall, and landscape features.

E. Section 4.151 lists applicable definitions while Section 4.152 identifies when a design review is required. The definitions are applicable to the design review process but do not by themselves establish design criteria (Section 4.151). Finally, as previously noted, a design review is required as the proposal involves the construction of a new building (Section 4.152).

G. Section 4.153 outlines the review procedures. For the purpose of this Section, a pre-application conference occurred, and the applicant submitted the required material. Further, the City mailed notice to area property owners and affected agencies in compliance with applicable provisions.

H. Section 4.154 outlines the purpose behind the design review criteria. This Section states *"(T)he design review criteria are intended to provide a frame of reference for the applicant in the development of site, building and landscape plans and to provide the city with a means of reviewing proposed plans. These criteria are not intended to be inflexible requirements nor are they intended to discourage creativity or innovation. The criteria do not intend to specify a particular architectural style."* Further: *"(T)he Design Review Board is not authorized to approve projects which do not adhere to specific development standards provided by this ordinance (e.g., building height or setbacks.)"*

I. Section 4.155 contains the specific decision criteria; each item is reviewed below:

1. In terms of setback from street or sidewalk, the design creates a visually interesting and compatible relationship between the proposed structure and the surrounding area.

   FINDINGS: The structure will be setback 10-feet from the front property line, and prioritizes pedestrian-focused space fronting Laneda Avenue. This area provides an entrance to commercial portion of the building surfaced with paving stones and providing outdoor seating. Generally, the space complements the building style and proposed finish.

2. The design incorporates existing features such as rocks, slopes and vegetation.

   FINDINGS: The design works with the existing natural slope of the site, meeting the street with public-facing building functions and using the natural slope of the site to aid in hiding back of house functions behind the buildings. The existing structures will be removed, and the site has minimal naturally occurring features such as rocks or vegetation that can be saved. Additional planting will occur along the east and south property lines to improve aesthetics and provide screening. Consistent with this provision, the site is finished with paving stones for the seating area, driveway, and parking.

3. Where appropriate, the design relates or integrates the proposed landscaping/open space to the adjoining space in order to create pedestrian pathways and/or open system that connects other properties.

   FINDINGS: The front contains a patio with plantings and allows outdoor dining during favorable times of the year. This patio and improvements effectively connect the restaurant to the sidewalk and pedestrian traffic. The pedestrian access point is located at the northeast corner of the lot where the sloping grade of Laneda is less steep and makes for more favorable and easier pedestrian connection to the building. The applicant noted the front yard design is similar to area commercial structures, thereby enhancing this portion of the street.

4. The design gives attention to the placement of storage or mechanical equipment so as to screen it from view.

   FINDINGS: Based on submitted drawings a dedicated utility room and crawlspace within the building will contain electrical and mechanical equipment. Exterior mechanical and electrical equipment is so located as not be visible from Laneda Ave or from the primary dining and public areas of the buildings. A shared driveway (dedicated by easement) provides access to propane tanks, utilities, trash receptacles and similar functions providing further separation from the public.

5. All functions, uses and improvements are arranged to reflect and harmonize with the natural characteristics and limitations of the site and adjacent properties.

   FINDINGS: The site improvements work with the existing terrain to optimize the site's slope, draining stormwater to the south where parking lot permeable pavers and landscape infiltration planters manage the stormwater load. The layout, front patio, and stepped back roof deck permits more daylight into the lower spaces and to Laneda as a whole.

J. Section 4.156 contains the decision criteria evaluating architectural and landscaping design; each item is reviewed below:

1. The design integrates and harmonizes the existing and proposed development with the existing surroundings and future allowed uses. This standard shall be applied in a manner that encourages village design and visual diversity within development projects and the surrounding area. Corrugated siding is prohibited as it does not harmonize with siding used on most existing buildings.

   FINDINGS: While unique, the building is not a jarring exception from existing structures and complements them by using vertical red cedar siding. While the building includes a metal roof, corrugated metal is not used in the building's design. Like other commercial structures along Laneda Avenue, the building connects patrons with the street.

2. The landscape design acknowledges the growing conditions for the climatic zone, and provisions are made for the survival and continuous maintenance. The landscape design shall include the use of local native species of trees and shrubs.

   FINDINGS: The applicant indicated Oregon and coastal native plants were selected for the site's planting. These include coast wax myrtle, pacific vine maples, and rhododendrons. While an irrigation system will be installed, plants which have gained priority are those that are hardy, drought tolerant and fit within the maintenance capability of the property ownership.

3. The minimum lot area required to be landscaped under Section 3.040(3)(d) for commercial, mixed use, or non-residential uses shall be located in the front and side yards and the portion of the lot adjacent to the front or street side yards and not within the foundation footprint or rear yard. Living plant material shall cover at least 50% of this required minimum landscape area. For corner lots, at least 25% of the living plant material required by this section shall face each street frontage.

   FINDINGS: As noted, above, only 500 square feet of landscaping is required, of which 50% or 250 square feet must be in living plant material. The site contains 537 square feet are in living plan material. Staff recognizes this includes stormwater plantings. However, the Ordinance does not prohibit the inclusion of stormwater plantings in the calculation, and it must be noted stormwater absorption is a critical component of landscaping regarding where located.

4. [Reserved]

5. The grading and contouring of the site, and on-site drainage facilities, shall be designed so there is no adverse effect on neighboring properties or public rights-of-way.

   FINDINGS: Per the applicant, grading and contouring of the site were studied and designed to keep stormwater on-site. A combined approach of permeable pavers and stormwater planters, along with roof stormwater loads, were designed to infiltrate water on the site and not onto neighboring properties or streets. In addition, the applicant submitted stormwater calculation showing the system complies with City public works standards.

6. The design avoids monotony and provides visual interest by giving sufficient attention to architectural details and to design elements.

   FINDINGS: The building's three levels create visual interest, and this is enhanced with the indoor/outdoor seating arrangement and architectural details such as the fireplaces and chimney.

7. The design adequately addresses the pedestrian nature of the commercial area and places structures in relation to sidewalks and open areas to foster human interaction.

   FINDINGS: The front setback and balcony overhang offers an open space area that provides outdoor seating. The design effectively places pedestrian-centric functions next to the street, providing connections to the sidewalk and core commercial area. The project's plazas and terraced outdoor space provide opportunities for human interaction.

8. Lighting is non-industrial and non-invasive in character, and contributes to the village character.

   FINDINGS: Plans and schematics for the structure placed the lighting primarily at the doorway entrances, along walkways and near outdoor seating. The lights are commercial in size and style and downward facing thereby ensuring lighting is not directed onto adjacent properties.

9. Compatibility. All new commercial and mixed-use buildings and exterior alterations shall be designed consistent with the architectural context in which they are located. This standard is met when the Design Review Board finds that all of the criteria in a.- c., below, are met.
   a. There is compatibility in building sizes between new and existing commercial and mixed use buildings;
   b. The size, shape and scale of the structures are architecturally compatible with the site and with the village character of the surrounding neighborhood. Particular attention will be paid to

addressing the visual impact of the structures on residential uses that are adjacent or on the opposite side of the same street.

c. All buildings and developments shall provide human scale design. The design avoids a monolithic expanse of frontages and roof lines, diminishes the massing of buildings by breaking up building sections, and/or by use of such elements as visual planes, projections, bays, dormers, second floor setbacks or changes in the roof line, and/or similar features generally shown in the following figure (see Ordinance). Changes in paint color and features that are not designed as permanent architectural elements, such as display cabinets, window boxes, retractable and similar mounted awnings or canopies, and other similar features will not independently satisfy this criterion.

FINDINGS: Building size is comparable and compatible with the adjacent structures on neighboring properties. The analysis indicates the building design is within the zoning code's height limitations and FAR restrictions. The roof forms and scale of structures are compatible with the adjacent properties. The gabled roof forms and cedar wood siding fit with the existing village context and neighboring buildings that have similar characteristics. The design avoids creating a single monolithic structure by the use of canopies, material changes, gabled roofs, eaves, upper story setbacks and the open patio on the street level. On balance, staff finds the improvement consistent with the intent of the design standards.

K. Section 4.158 includes on performance assurance, including building permit requirements and time limitations.

FINDINGS: These are administrative requirements applicable to both the City and applicant.

IV. RECOMMENDATION AND CONDITIONS OF APPROVAL

City staff finds the proposal complies with the applicable Design Review criteria and recommends the Planning Commission approve the application subject to the following Conditions:

A. The developer shall submit engineering plans to the City of Manzanita addressing water, storm water, street improvements and similar private facility improvements. Sanitary sewer plans shall also be submitted the Nehalem Bay Wastewater Agency (NBWA). These plans shall be reviewed and approved by the City and NBWA prior to construction.

B. The developer shall submit a building permit for construction of the building, conforming to the applicable building code requirements. The submitted site plan shall substantially conform to the approved layout. While building plans may be

simultaneously submitted with engineering plans, building permits shall not be issued until all engineering plans are reviewed and approved.

C. Prior to occupancy, the developer shall complete the following:

1. Install and/or extend public facility improvements, consistent with City and/or NBWA approved engineering plans.

2. Install parking improvements consistent with approved building and engineering plans.

D. The structure shall comply with the building permit requirements and conform to the submitted site plan. The applicant is advised that modifications to the approved plan may require a new design review application and decision.

E. Compliance with these conditions, the requirements of the Manzanita Zoning Ordinance, Nehalem Bay Wastewater Agency, Nehalem Bay Fire & Rescue and applicable building code provisions shall be the sole responsibility of the developer.

V. PLANNING COMMISSION ACTION

A. The Planning Commission has the following options:

1. Approve the application, adopting findings and conditions contained in the staff report; or

2. Approve the application, adopting modified findings and/or conditions; or

3. Deny the application, establishing findings as to why the application fails to comply with the decision criteria.

B. Staff will prepare a document for the Chair's signature.

Scott Edwards Architecture

INTRODUCTORY NARRATIVE
220 LANEDA AVE – EAST LOT

Date: 07/07/2022

To: City of Manzanita

From: Bob Carbaugh, AIA (Scott Edwards Architecture)

Job: Steeplejack Manzanita - East Lot (220 Laneda Ave, Manzanita, OR)

Re: Land Use Review – Introductory Narrative

Harder Holdings Coastal, LLC (Owner) is developing this site with Steeplejack Brewing Company as the anchor tenant of the restaurant space. This location will be restaurant operations only with no brewing functions on site. The design focuses dining functions at the street level with a second story dining and roof deck seating that can be operated during busy seasons. The existing steep slope of the site is utilized for a daylight basement serving the kitchen and utility back of house storage needs. The sloping site is also used to conceal utility functions from the view of Laneda Ave such as propane tanks and the electrical transformer.

A driveway straddling the property line is dedicated by easement for maintenance access to the utility services at the rear of the lot and for reaching the dedicated Lodging parking spaces. The parking lot located on this site is dedicated by easement for the adjacent lot and is not provided for restaurant or retail use. Full code analysis is provided on the architectural site plans.

Both this site and the adjacent lot are being designed at the same time and by the same design and construction teams. To streamline this process for our internal coordination purposes and to facilitate easy distinction within our document sets, the lots are differentiated by means of an alphabet character suffix: West Lot “A” and East Lot “B”. This suffix is attached to certain drawing sheets and referenced throughout the Land Use and upcoming Permit documentation.

Stormwater Calculations

Steeplejack Manzanita

220 Laneda Avenue

Manzanita, OR 97130

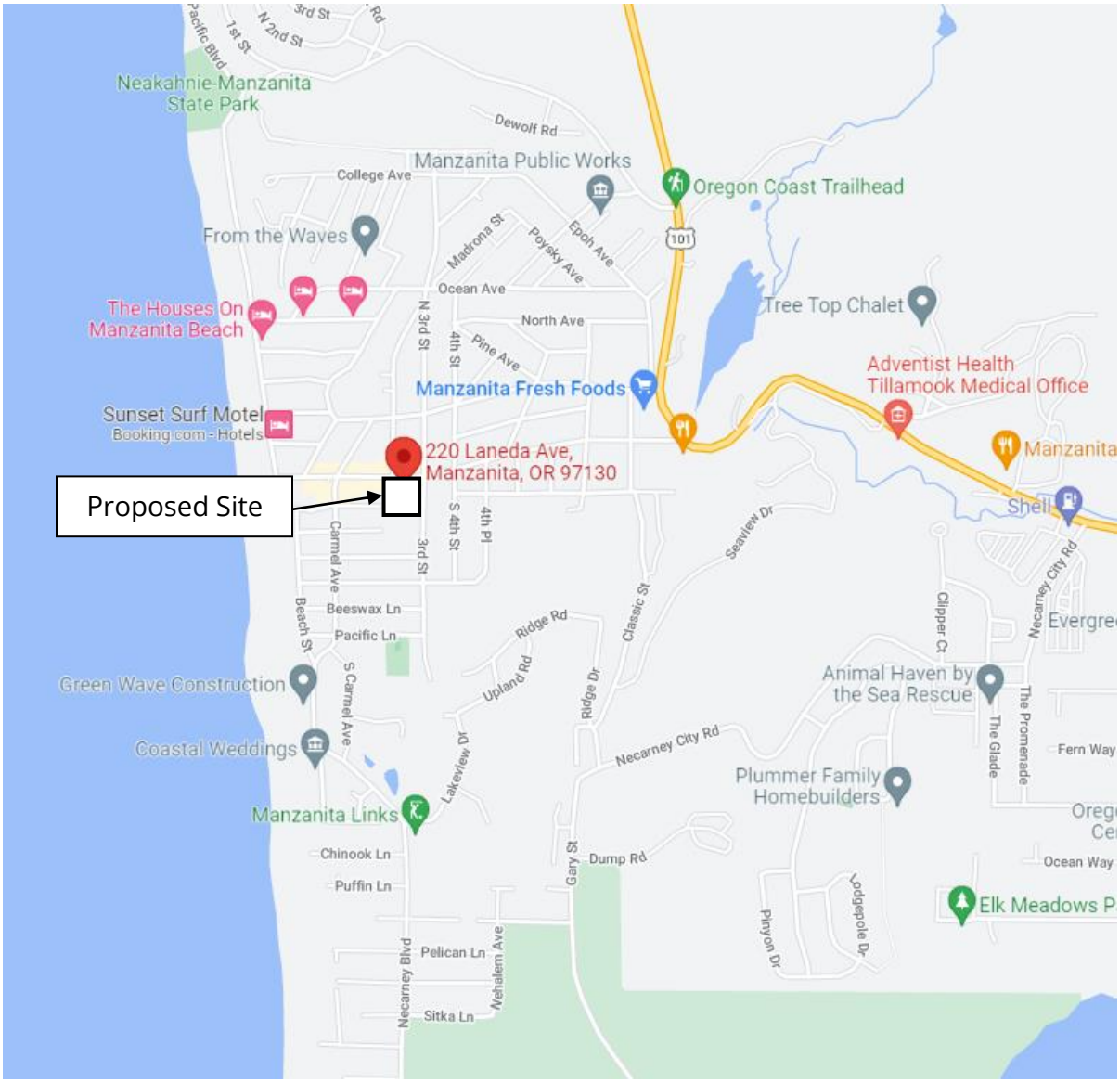
DCI Job Number 21032-0039

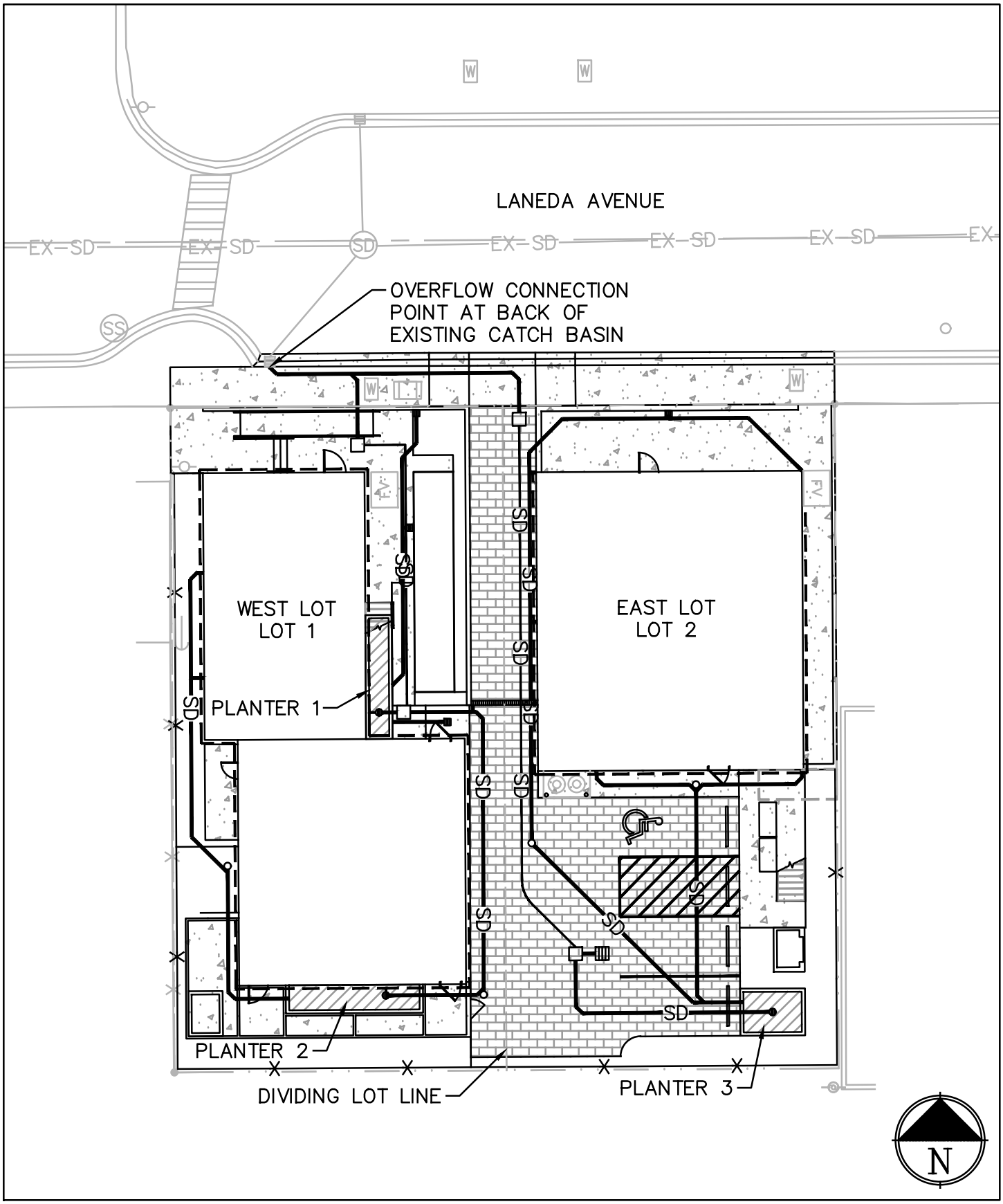
June 29, 2022

Table of Contents

Section I: Background Information

Section I-1
Vicinity Map





21032-0039_STRM-EXHIBIT.DWG

SECTION 1-2
SITE MAP
SCALE: 1"=20'

Section I-3: Project Information

The Steeplejack Manzanita project is located in Manzanita, Oregon and borders Laneda Avenue to the north, and a mix of commercial and residential areas to the west, south, and east. This report contains information for the onsite stormwater improvements, including stormwater quality and quantity control systems. The proposed development will consist of two lots that are being constructed simultaneously.

The two proposed lots being developed are divided evenly and in this report are referenced as a western lot and an eastern lot. The western lot is proposed to be an ice cream store with air bnb units connected to the south of the storefront. The western lot building is also designed to have sidewalks, ramps, patios, a bocce ball court, and part of a permeable pavement area. The eastern lot is proposed to be a restaurant for Steeplejack Brewing. The lot is also designed to have sidewalks, a patio, and a permeable pavement parking area. Stormwater for the site is designed to capture, treat, and retain within the boundaries of the separate lots.

The existing condition of the site was a residential house with an asphalt driveway. The site had low vegetation and a couple trees, as well. The site development is not planning to retain any of the existing structures or vegetation within the lot boundary. The elevation of the site varies, with the street frontage at the northeast corner being a high point and the grassy area at the southwest being a low point.

The City of Manzanita has a Stormwater Master Plan, dated December 2020, that is used for these calculations. In addition, the City has provided standards for stormwater treatment during the preliminary stages of design that emphasized the retention of stormwater on site. The sizing of the infiltration basins in these calculations are based upon the City standards.

For retention of stormwater, the site utilizes stormwater planters, with above ground storage to assist in detaining runoff prior to infiltration. The site has been tested and found to have high groundwater table, so aboveground infiltration planters were designed.

Section I-4: Stormwater Narrative

The proposed project is divided into two lots with separate stormwater facilities. Stormwater design and analysis has been performed for each individual basin within the separate sites. Stormwater facilities for both lots are comprised of stormwater planters.

West Lot

The west lot is divided into two separate basins, with two stormwater planters (planters 1 and 2). The northern planter, planter 1, captures the northern ice cream store roof, the ice cream patio, and the entirety of the central driveway between the two lots. The southern planter, planter 2, captures the remaining roof for the air bnb units and the southern patio.

Both planters have overflow catch basins, with rim elevations designed above the detention requirement elevation for the facility. The overflow catch basins are designed as a safety overflow to prevent the building from receiving any flooded waters for larger storm events or clogging. Each overflow catch basin is designed to capture overflow stormwater only and discharge to a sump pump, which pumps the overflow discharge to the northern Street, Laneda Avenue, for public street connection.

East Lot

The east lot is comprised of a single stormwater planter (planter 3). The east lot planter, planter 3, captures the entirety of the Steeplejack Brewery Restaurant, the front patio area, and the back sidewalk area. Most of the parking field is also in the eastern lot, but is comprised of permeable pavers, which act as a pervious surface.

Planter 3 also has an overflow catch basin, similar to planters 1 and 2, and acts in a similar way as a safety overflow.

There is also a portion of the drivable area within both the western and eastern lots. The pavement is designed to be made of permeable pavers, which allow stormwater to flow through to the native soil beneath the pavement directly. Due to the pervious nature of the permeable pavers, the stormwater runoff is not captured for this area directly, but there is an overflow catch basin in the parking field to allow stormwater to be captured and discharged from the site during higher level storm events.

The site soil is comprised of mostly sandy silts with few fines, per the geotechnical report. These soil conditions are ideal for drainage. High groundwater on the site is the primary reason for not adding in drywells, as a drywell would be within the Department of Environmental Quality (DEQ) minimum requirements for separation between an underground injection control (UIC) drywell and the groundwater level.

Conveyance

The site is designed to capture and retain stormwater runoff per the City of Manzanita Standards. The lines around the site are at a 2% slope, minimum, or are a pressurized 2" line with pump structures. The pressure lines are designed to limit the number of cycles to a reasonable rate. The building gravity roof runoff lines meet the Oregon Plumbing Specialty Code requirements for size and slope.

Stormwater Quality Control

The site does not have any pollution-generating surfaces; only impervious surfaces such as roofs and sidewalks. The only potential pollution-generating surfaces on site are the drivable areas with permeable pavers, so water quality requirements are not needed for these areas. In the case of a spill or other chemical or dangerous hazard, an immediate maintenance response shall be performed by the Owner or designated maintenance party.

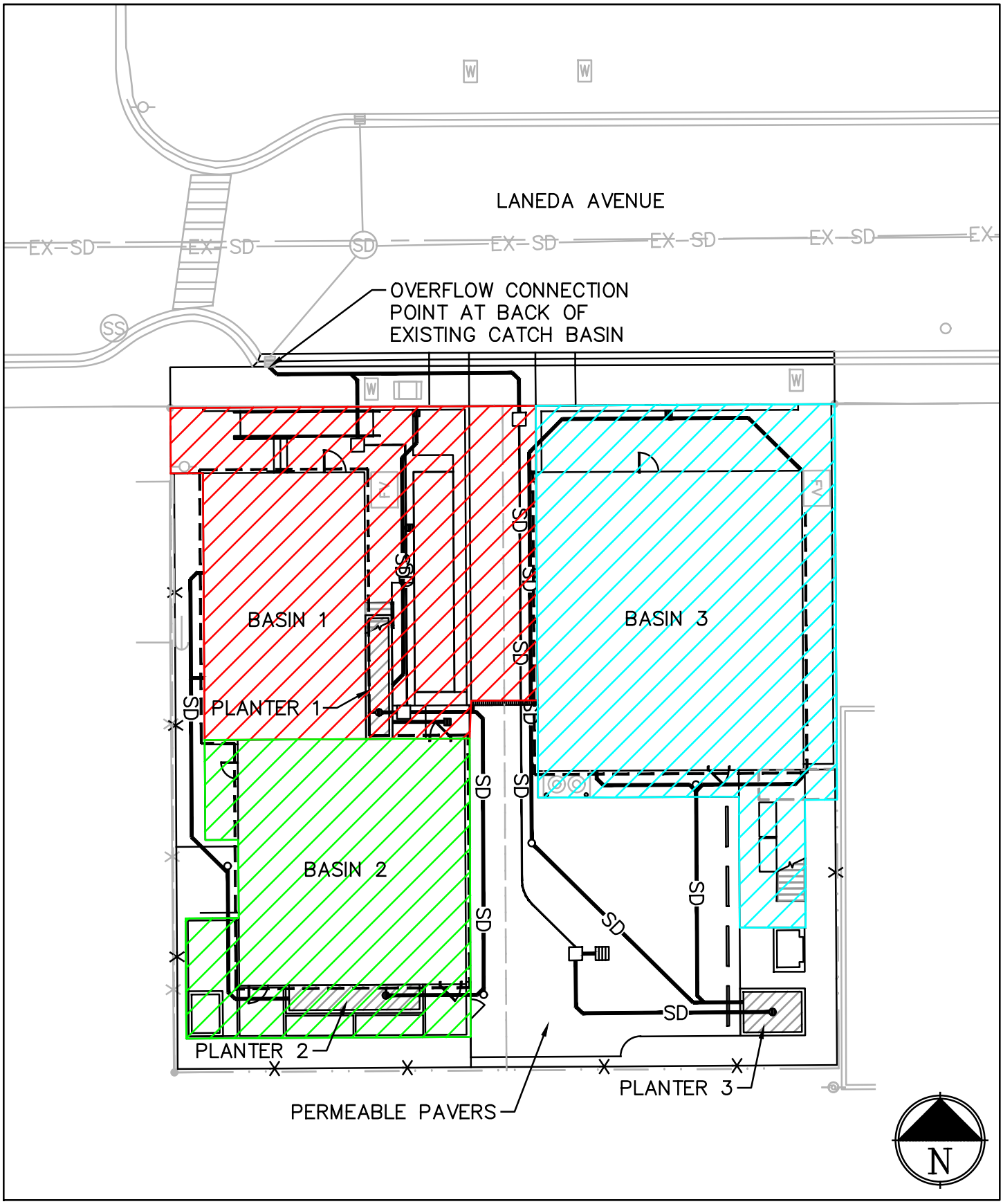
Stormwater Quantity Control (Retention)

The stormwater infiltration planters for both the west and eastern lots are designed to retain stormwater and infiltrate it into the ground. Volumetric design for the stormwater infiltration planters are based on the City of Manzanita requirements (see appendix B). For design, the stormwater storage capacity required is equal to 1 cubic foot for every 44 square feet of impervious surface. Design calculations below show the respective basins 1, 2, and 3 with impervious areas, required volumes, and provided volumes in each infiltration planter.

Site Basin Summary

Stormwater Basin	Contributing Impervious Area (sf)	Volume Required (cf)	Volume Provided (cf)
Basin 1 (Planter 1)	1,661	37.75	53 cf (3' x 17' x 1' deep facility)
Basin 2 (Planter 2)	1,764	40.09	73 cf (3.75' x 19.6' x 1' deep facility)
Basin 3 (Planter 3)	2,796	63.55	65 cf (8.75' x 6' x 1.25' deep facility)

Section II: Stormwater Design Information



21032-0039_STRM-BASN.DWG

STORMWATER BASIN MAP

SCALE: 1"=20'

Sizing Stormwater Planter Facilities in Manzanita

City requirement (from document labeled "reference documents")
1 cubic foot required for every 44 sf of impervious surface.

Areas					
West side - North Building		West side - South Building		East side	
Building	1078	Building	1288	Building	1800
Sidewalk	583	Sidewalk	476	Sidewalk	996
Pavement	Assumed 0 sf	Pavement	Assumed 0 sf	Pavement	Assumed 0 sf
Total	1661	Total	1764	Total	2796
Required Volume	37.8	Required Volume	40.1	Required Volume	63.6

Stormwater Planter Provided Dimensions					
West Side		East Side		East Side	
Assume 1' depth		Assume 1' depth		Assume 1.25' depth	
Width	3	Width	3.75	Width	8.75
Length	17.67	Length	19.6	Length	6
Provided Volume	53.01	Provided Volume	73.5	Provided Volume	65.6

Appendix

Map Scale: 1:242 if printed on A portrait (8.5" x 11") sheet.

N

Meters: 0 3 7 14 21

Feet: 0 10 20 40 60

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84

MAP LEGEND

Area of Interest (AOI)

Area of Interest (AOI)

Soils

Soil Rating Polygons

A

A/D

B

B/D

C

C/D

D

Not rated or not available

Soil Rating Lines

A

A/D

B

B/D

C

C/D

D

Not rated or not available

Soil Rating Points

A

A/D

B

B/D

C

C/D

D

Not rated or not available

Water Features

Streams and Canals

Transportation

Rails

Interstate Highways

US Routes

Major Roads

Local Roads

Background

Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Tillamook County, Oregon
Survey Area Data: Version 14, Oct 27, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 28, 2020—Jun 22, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
11D	Netarts fine sandy loam, 5 to 30 percent slopes	A	0.3	100.0%
Totals for Area of Interest			**0.3**	**100.0%**

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Drywell & Infiltration System Standards

for the City of Manzanita, Tillamook County, Oregon

Prepared 11/30/01
by the
City of Manzanita & HLB & Associates, Inc.

Revised 6/04/04

OVERVIEW

The intent of this standard is to prevent/minimize water runoff from an owner's developed or manipulated property onto adjoining properties.

Manzanita Zoning Ordinance – Section 4.155

The grading and contouring of the site, and on site drainage facilities, shall be designed so there is no adverse affect on neighboring properties or public rights-of-way.

Manzanita Comp Plan – Page 27, #4

All roof drains will be required to flow into properly constructed drywells, except in areas where it can be shown that the water table is too high for this to be done effectively, in which case other methods shall be employed. Lot coverage may be reduced and roof drains may be piped into adequate culverts. Roof drains are not to be connected to sanitary sewer lined.

Any combination of approved procedures is acceptable.

See Standard Details attached hereto for installation requirements.

Stormwater storage capacity required - 1 cubic foot for every 44 square feet of impervious surface.

A simplified formula for calculating amount of pipe is needed, if using a perforated pipe system. Length of pipe needed to equal 1 cubic ft. of retention.

$$144 \div 3.14 \text{ (radius in inches)}^2$$

Any system used shall be installed below native/unfilled ground, when constructed on downhill side of sloping lots.

INDEX

PROCEDURE FOR INSTALLATION AND ACCEPTANCE OF STORMWATER SYSTEM

New Construction:

1. Include drywell/stormwater detail in building plans during plan review.
2. Obtain appropriate permits before commencing work.
3. Utility Locate required by law – before digging call 1-800-332-2344
4. The City of Manzanita shall inspect and approve the installed system prior to backfill. Notify the City of Manzanita 24 hours in advance for required inspection.
5. Deviation from Standard requires written approval from Manzanita Public Works.

*** Retention ponds are an acceptable method and are encouraged.**

Additions / Remodels:

1. During plan review, include documentation of current system with regards to capacity and ability to accommodate increased load.
2. If unable to document current system capacity, provide new system for increased load.
3. Obtain appropriate permits before commencing work.
4. Utility Locate required by law – before digging call 1-800-332-2344
5. The City of Manzanita shall inspect and approve the installed system prior to backfill. Notify the City of Manzanita 24 hours in advance for required inspection.
6. Deviation from Standard requires written approval from Manzanita Public Works.

*** Retention ponds are an acceptable method and are encouraged.**

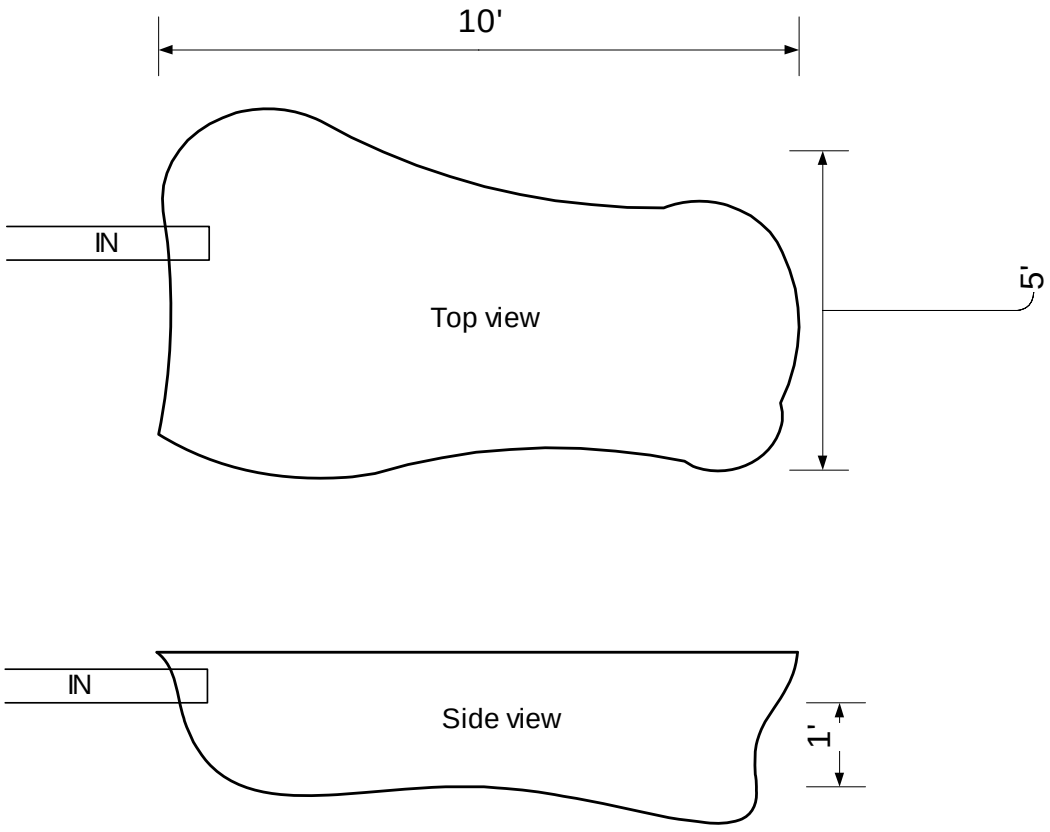
Retention Ponds

Retention ponds are an accepted form of stormwater control and are encouraged.
If above surface retention ponds are used, clean out boxes are not required.
Ponds may be planted and manipulated as long as the drainage aspect of the pond is not compromised.
Pond volume is calculated from the bottom of the inlet pipe.
As with the barrel system, edge of ponds shall be at least 5' from the property line.
Pond construction does not need to be exactly as drawn provided it is as large or larger than the plan states.

Example pond - The pond below is approximately 10' x 5' x 1' (50 cubic feet).
This size pond would service a structure with 2,187 square feet of impervious surface.

Square footage of impervious surface divided by 44 = required cubic feet of storage

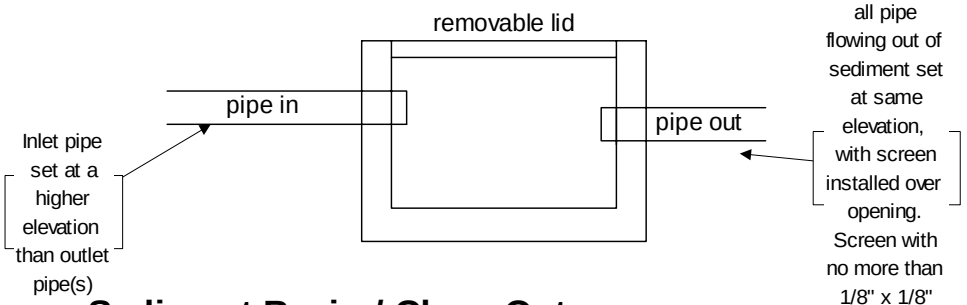
2,187 / 44 = 49.70



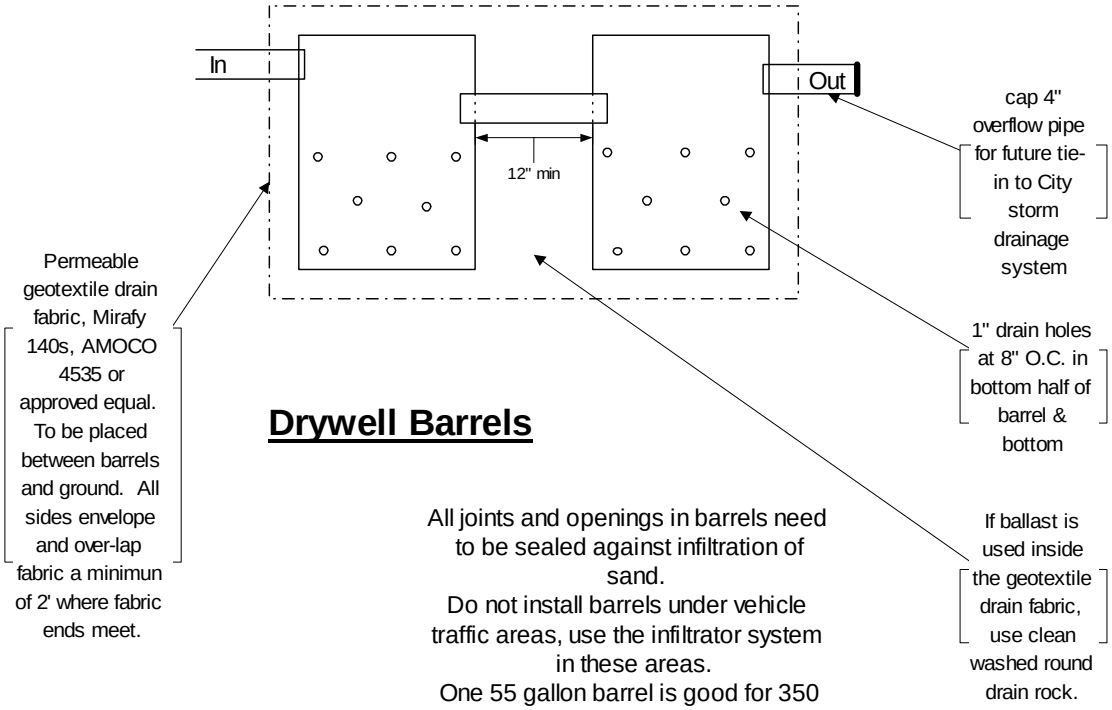
EXAMPLE:
DRIVEWAY AREA = 200 SQ. FT.
HOUSE ROOF AREA = 1500 SQ. FT.
CONCRETE PATIO
OR SIDEWALK AREA = 0 SQ. FT.
TOTAL IMPERVIOUS AREA = 1700 SQ. FT.
FOR NON-TRAFFIC AREA INSTALLATION, INSTALL ONE 55 GALLON BARREL FOR EVERY 350 SQ. FT. OF IMPERVIOUS SURFACE:
1700/350 = 5 BARRELS
5 BARRELS REQUIRED FOR 1401 - 1750 SQ. FT.
FOR TRAFFIC AREA INSTALLATION, INSTALL ONE INFILTRATOR CHAMBER FOR EVERY 500 SQ. FT. OF IMPERVIOUS SURFACE:
1700/500 = 4 INFILTRATOR CHAMBERS
4 INFILTRATOR CHAMBERS REQUIRED FOR 1501 - 2000 SQ. FT.
NOTES:
* 5.0' MAY BE DECREASED ON STREET FRONT YARD AS APPROVED BY THE CITY
** 10.0' APPLIES TO OPEN BOTTOM SEDIMENT BASINS. MAY BE DECREASED WITH SOLID BOTTOM BASINS.
IMPERVIOUS DRIVEWAY AREA ON PROPERTY = 200 S.F.
HOUSE
ROOF AREA = 1500 S.F.
ROOF OVERHANG
4" DRAIN PIPE TYP.
PROPERTY LINE
DS
10.0' MIN.**
10.0' MIN.
SEDIMENT BASIN
12" MIN.
5.0' MIN.*
55 GALLON PLASTIC BARRELS
NOTE: DO NOT INSTALL BARRELS IN TRAFFIC AREA
STUB OUT OVERFLOW PIPE FOR TIE IN OR FUTURE TIE IN TO CITY STORM DRAINAGE SYSTEM
CITY OF MANZANITA
DRYWELL STANDARDS
TYP. LOT LAYOUT AND
EXAMPLE CALCULATIONS

Sediment basin

Inside dimensions approximately 12” x 12” or larger.
Installed with removable lid flush with or higher than surrounding ground.
Bottom is optional

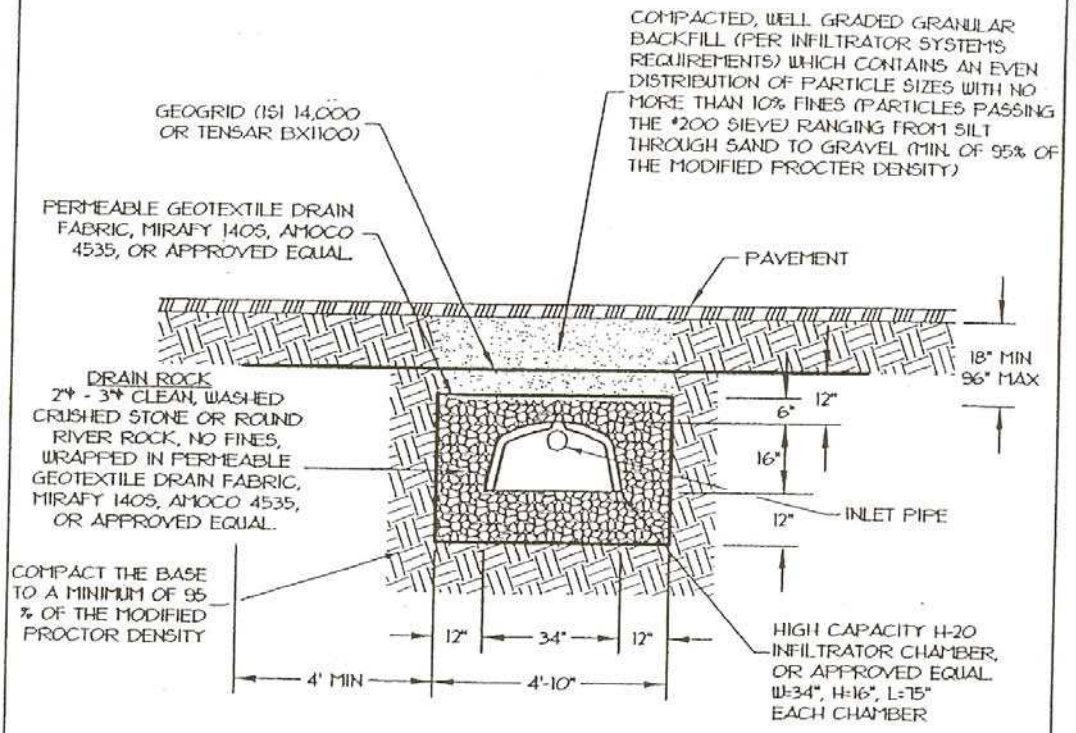


Sediment Basin / Clean Out



Drywell Barrels

All joints and openings in barrels need to be sealed against infiltration of sand.
Do not install barrels under vehicle traffic areas, use the infiltrator system in these areas.
One 55 gallon barrel is good for 350



NOTE: GEOGRID MUST OVERLAP ON ITSELF AT LEAST 2' WHEN USING MORE THAN ONE ROLL.

1/3 INFILTRATOR CHAMBER DETAIL

NO SCALE

CITY OF MANZANITA
DRYWELL STANDARDS TYP. INFILTRATOR CHAMBER

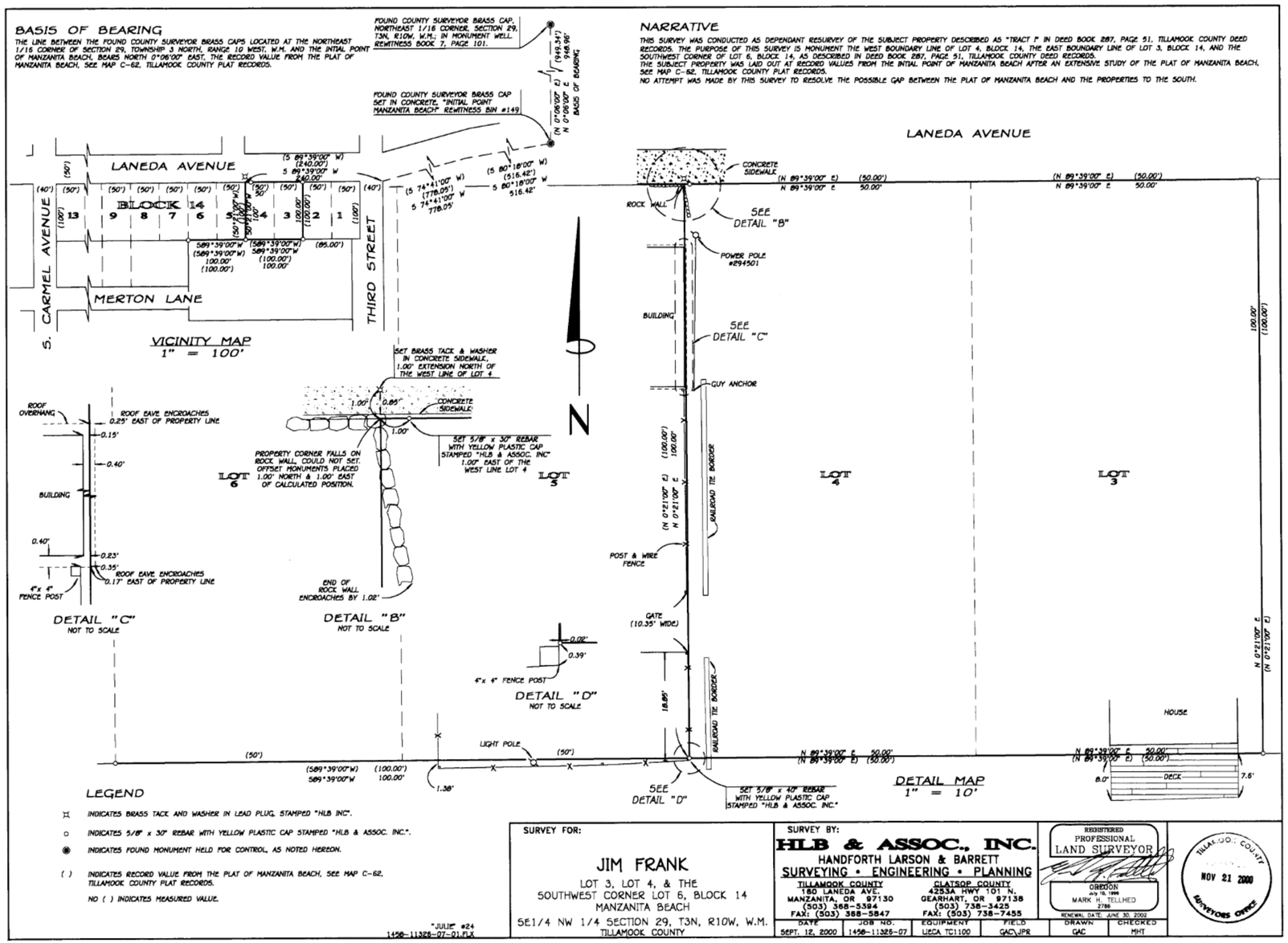
PROJECT SITE (EAST LOT)

ADJACENT LOT UNDER SEPARATE LAND USE REVIEW AND PERMIT.

Steeplejack Manzanita
220 Laneda Ave., Manzanita, OR, 97130
Project #21119 07.07.2022

Scott Edwards Architecture

B-2407



B-2407

1 **SURVEY INCLUDED FOR REFERENCE**
12" = 1'-0"

Scott Edwards Architecture
2525 E Burnside St. Portland, OR 97214
503.226.3617 seallp.com

STEEPLEJACK MANZANITA

Job Number: 21119

220 LANEDA AVE
MANZANITA, OR, 97130

Issue	Date

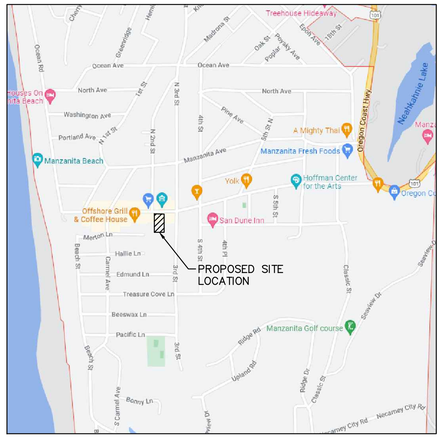
Drawing:
SURVEY

Sheet No:
SURV

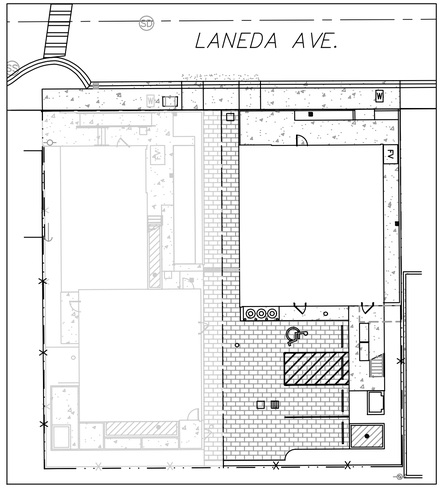
A B
KEY PLAN

STEEPLEJACK AT MANZANITA

MANZANITA, OR



VICINITY MAP
NOT TO SCALE



SITE MAP
SCALE: 1" = 20'

GENERAL CONSTRUCTION NOTES:

1. UNLESS SPECIFICALLY EXCEPTED IN THE PLANS OR CONTRACT DOCUMENTS, ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND PLANS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION PROMULGATED BY THE OREGON STATE DEPARTMENT OF TRANSPORTATION AND THE CITY OF MANZANITA MUNICIPAL CODE.
2. THE PLANS ARE SCHEMATIC AND ARE NOT INTENDED TO DEPICT ALL DETAILS OF THE WORK REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE TO FAMILIARIZE HIMSELF WITH ACTUAL SITE CONDITIONS, REQUIREMENTS AND FACTORS AFFECTING THE WORK. WHERE LACK OF DETAIL OR CONFLICT EXISTS BETWEEN THESE AND OTHER PLANS, THE CONTRACTOR SHALL NOTIFY THE OWNER TO RESOLVE THE ISSUE PRIOR TO PROCEEDING. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER.
3. THIS PLAN MAY NOT SHOW ALL EXISTING UTILITIES. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. CALL THE UNDERGROUND UTILITY LOCATION SERVICE AT (811) BEFORE YOU DIG. ANY CONFLICTING UTILITIES SHALL BE RELOCATED PRIOR TO CONSTRUCTION. IN THE CASE WHERE RELOCATION IS REQUIRED, THE APPLICABLE UTILITY COMPANY SHALL BE NOTIFIED AND ANY COST REQUIRED FOR RELOCATION OR ADJUSTMENTS SHALL BE AGREED UPON.
4. THE ENGINEER HAS ATTEMPTED TO SHOW ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES. APPEARANCE ON THESE PLANS, HOWEVER, DOES NOT GUARANTEE THE ACCURACY AND COMPLETENESS OF THE LOCATION OR EXISTENCE OF THESE UTILITIES AND/OR SUBSTRUCTURES. THE CONTRACTOR IS REQUIRED TO TAKE ALL REQUIRED PRECAUTIONARY MEANS TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND SUBSTRUCTURES WHETHER SHOWN OR NOT, PRIOR TO EXCAVATION IN ANY AREA. THE CONTRACTOR SHALL MEET AT THE JOB SITE WITH REPRESENTATIVES OF THE UTILITY DISTRICTS, COMPANIES, AND OTHER OWNERS THAT MAY HAVE EXISTING FACILITIES AT THE SITE, AND DISCUSS THEIR PROTECTION.
5. THE CONTRACTOR IS REQUIRED TO HAVE A COMPLETE SET OF APPROVED PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY, WHO HAS THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR, AT THE JOB SITE DURING ALL WORKING HOURS.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS FROM THE CITY OF MANZANITA, AND OTHER JURISDICTIONS PRIOR TO THE START OF CONSTRUCTION. ABSENCE OF THE PERMIT MAY RESULT IN IMMEDIATE SHUT DOWN OF WORK AND POSSIBLE REMOVAL OF THE ITEMS CONSTRUCTED WITHOUT A PERMIT.
7. THE CONTRACTOR SHALL PROVIDE THE DESIGN ENGINEER WITH RECORD DRAWINGS PRIOR TO FINAL APPROVAL. ALL DEVIATIONS FROM THE ORIGINAL PLANS MADE DURING THE COURSE OF THE CONSTRUCTION INCLUDING LOCATION, INVERTS, AND DEPTHS OF UTILITIES SHALL BE CLEARLY MARKED ON THE RECORD DRAWINGS. THE ENGINEER SHALL PROVIDE THE CITY ENGINEER WITH "RECORD DRAWINGS" AS REQUIRED.
8. THE SURVEY IS FOR INFORMATIONAL PURPOSES ONLY. NO CERTIFICATIONS ARE EXPRESSED OR IMPLIED. THE SURVEY WAS PROVIDED BY HHPR.
9. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT TO CONSTRUCT AND INSTALL TO PROPER WORKING ORDER, THE DESIGN SHOWN, AS DETAILED OR CALLED OUT IN THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR BEING FAMILIAR WITH THE PROVISIONS AND REQUIREMENTS CONTAINED IN THE STANDARD SPECIFICATIONS.
10. IF CONSTRUCTION IS TO TAKE PLACE IN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL NOTIFY THE GOVERNING MUNICIPALITY (CITY OF MANZANITA OR ODOT) AND OBTAIN ALL THE REQUIRED APPROVALS AND PERMITS. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLAN(S) IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS REQUIRED. PRIOR TO DISRUPTION OF ANY TRAFFIC, A TRAFFIC PLAN SHALL BE PREPARED AND SUBMITTED TO THE GOVERNING MUNICIPALITY FOR APPROVAL. NO WORK SHALL COMMENCE UNTIL ALL APPROVED TRAFFIC CONTROL IS IN PLACE.
11. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF MANZANITA PRIOR TO THE START OF CONSTRUCTION.
12. ANY CHANGES TO THE DESIGN SHALL FIRST BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER AND THE CITY OF MANZANITA.
13. ALL TESTING SHALL BE IN ACCORDANCE WITH THE ODOT STANDARD SPECIFICATIONS (LATEST EDITION).
14. THE CONTRACTOR SHALL REMOVE ALL WASTE MATERIAL IN A SAFE AND APPROVED MANNER.
15. REFER TO THE REPORT OF GEOTECHNICAL ENGINEERING SERVICES FOR STEEPLEJACK BREWING – MANZANITA, BY NV5, DATED 01-20-2022.

SHEET INDEX

LEGEND

EX. STORM LINE	EX-SD	FIRE HYDRANT	
EX. SANITARY SEWER LINE	EX-SS		
EX. WATER LINE	EX-W	FIRE DEPT. CONNECTION	
EX. FIRE WATER LINE	EX-FW		
EX. GAS LINE	EX-G	WATER METER	W
EX. COMMUNICATIONS LINE	EX-COMM		
EX. OVERHEAD POWER LINE	EX-OHP	WATER VALVE	
NEW STORM LINE	SD	GAS METER	G
NEW SANITARY SEWER LINE	SS		
NEW WATER LINE	W	POWER POLE	
NEW FIRE WATER LINE	FW	SIGN	
NEW GAS LINE	G	CEMENT CONCRETE AREA	
NEW COMMUNICATIONS LINE	COMM		
NEW OVERHEAD POWER LINE	OHP	ASPHALT CONCRETE AREA	
EXISTING CONTOUR	457	DRAINAGE SWALE	
NEW CONTOUR	457		
STORM DRAIN MANHOLE	SD	PROPERTY LINE	
SANITARY SEWER MANHOLE	SS	CENTER LINE	
COMMUNICATIONS MANHOLE	T	SAWCUT LINE	
CATCH BASIN		GRADE BREAK	
CURB INLET		FENCE	
DRY WELL	DW	EXISTING SURFACE ELEV.	FS (XXX.XX)
CLEANOUT		FINISHED SURFACE ELEV.	FS XXX.XX
ROOF DOWNSPOUT		EXISTING TOP OF CURB / BOTTOM OF CURB	(XXX.XX) TC / (XXX.XX) FS
		FINISHED TOP OF CURB / BOTTOM OF CURB	XXX.XX TC / XXX.XX FS

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CIVIL / STRUCTURAL

STEEPLEJACK MANZANITA

Job Number: 21032-0039

220 LANEDA AVE
MANZANITA, OR, 97130

ISSUE **DATE**

Drawing:

CIVIL COVER SHEET - EAST

Sheet No:

C0.00B

FILE: O:\0320-PORTLAND\DCI-CIVIL\2021\21032-0039 STEEPLEJACK MANZANITA\0-DRAWINGS\SHEETS\21032-0039_COVR-GEN-NOTES-EAST
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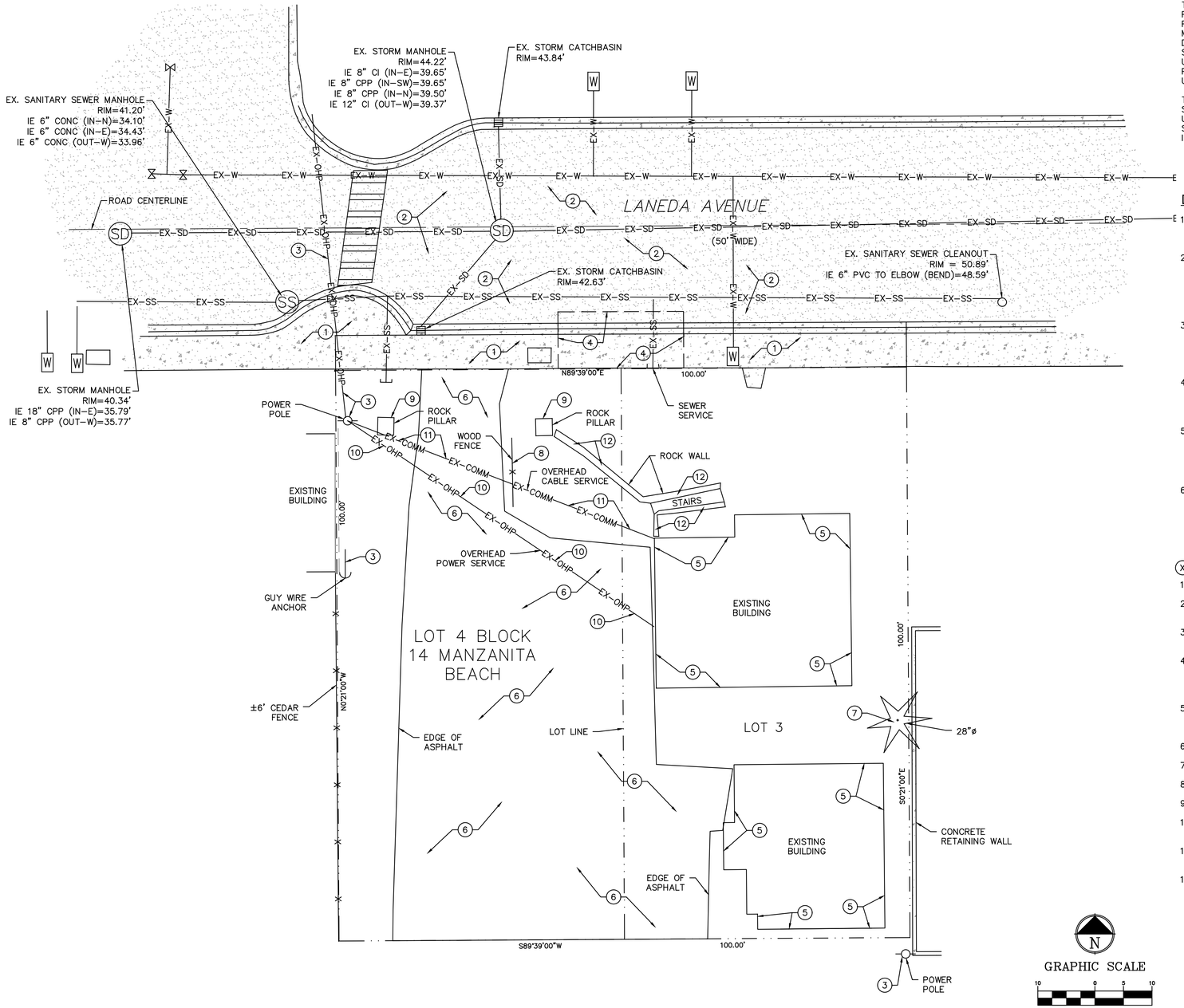

GRAPHIC SCALE

(IN FEET)
1 INCH = 10 FEET

UTILITIES STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM LOCATION PAINT MARKINGS TIED IN THE FIELD SURVEY AND AS-BUILT DRAWINGS PROVIDED BY UTILITY COMPANIES. THIS SURVEY DOES NOT SHOW ANY PAINT MARKING PROVIDED AFTER THE FIELD SURVEY WAS COMPLETED. AS-BUILT DRAWING INFORMATION THAT WAS NOT PROVIDED IS NOT REFLECTED ON THIS SURVEY. AS-BUILT INFORMATION, IF PROVIDED, WAS USED TO IDENTIFY UNDERGROUND PIPE SIZE AND TYPE IF NO LOCATION PAINT MARKINGS WERE PROVIDED. AS-BUILT INFORMATION WAS USED TO HORIZONTALLY LOCATE UNDERGROUND UTILITIES.

THIS SURVEY MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE OF ALL SUCH UTILITIES IN THE AREA. THE UNDERGROUND UTILITIES SHOWN MAY NOT BE IN THE EXACT LOCATION AS NOTED ON THIS SURVEY, BUT ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED.

DEMOLITION GENERAL NOTES:

1. THE CONTRACTOR SHALL BE REQUIRED TO VISIT SITE PRIOR TO PREBID MEETING TO FAMILIARIZE THEMSELVES WITH DEMOLITION, GRADING, ETC., AND IMPROVEMENTS TO REMAIN.
2. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY AND ALL ITEMS NOT OTHERWISE LISTED HEREIN THAT CONFLICT WITH THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY TO DETERMINE IF ANY ITEMS NOT SHOWN ON THE PLANS MUST BE REMOVED. FAILURE TO DO SO DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY AND COST FOR REMOVING ITEMS REQUIRED.
3. CONTRACTOR IS RESPONSIBLE FOR REVIEWING (IF APPLICABLE) ALL KNOWN ENVIRONMENTAL INVESTIGATION STUDIES AND REPORTS PRIOR TO BIDDING. REPORTS ARE INCLUDED IN THE PROJECTS SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH THE ENVIRONMENTAL ENGINEER ON EXACT AREAS OF CONTAMINATION, IF ANY.
4. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF ANY AIRBORNE DUST NUISANCE, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM FAILURE TO FOLLOW 1200CN / EROSION & SEDIMENT CONTROL GUIDELINES.
5. ALL EXISTING REMAINING UTILITIES AND REMAINING IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL AGENCY AND THE ENGINEER AT THE CONTRACTOR'S SOLE EXPENSE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DOCUMENT PRIOR DAMAGES.
6. DO NOT CUT ANY ROOTS OVER 3". ROOTS THAT ARE CUT SHALL RESULT IN A FLAT SURFACE WITH ADJACENT BARK FIRMLY ATTACHED. DO NOT TEAR OR CRUSH ROOTS. ALL ROOTS SHALL BE CUT AT A 90° ANGLE.

(X) DEMOLITION NOTES:

1. PRESERVE EXISTING CONCRETE SIDEWALK IN PUBLIC RIGHT-OF-WAY.
2. PRESERVE AND PROTECT EXISTING ASPHALT CONCRETE PAVEMENT AREA IN PUBLIC RIGHT-OF-WAY.
3. PRESERVE AND PROTECT EXISTING POWER POLE, GUY WIRE, AND OVERHEAD POWER LINES.
4. SAWCUT EXISTING ASPHALT PAVEMENT IN PUBLIC RIGHT-OF-WAY. SAWCUT LINE SHALL PROVIDE A NEAT VERTICAL CUT AND SAWCUT DEBRIS SHALL BE VACUUMED. DISCHARGING SAWCUT DEBRIS TO PUBLIC STORM DRAINAGE SYSTEMS IS PROHIBITED.
5. COORDINATE REMOVAL OF EXISTING BUILDING WITH OWNER AND PROJECT TEAM. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO ANY DEMOLITION OF THE EXISTING STRUCTURES.
6. REMOVE EXISTING ASPHALT CONCRETE PAVEMENT AREA.
7. REMOVE EXISTING VEGETATION, INCLUDING ROOT SYSTEMS.
8. REMOVE EXISTING WOOD FENCE, INCLUDING POST FOOTINGS.
9. REMOVE EXISTING ROCK PILLARS, INCLUDING FOOTINGS.
10. REMOVE EXISTING OVERHEAD POWER SERVICE. COORDINATE REMOVAL WITH LOCAL JURISDICTION.
11. REMOVE EXISTING OVERHEAD CABLE SERVICE. COORDINATE REMOVAL WITH LOCAL JURISDICTION.
12. REMOVE EXISTING ROCK WALL, INCLUDING ANY FOOTINGS.

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CIVIL / STRUCTURAL

STEEPLEJACK MANZANITA

Job Number: 21032-0039

220 LANEDA AVE
MANZANITA, OR, 97130

ISSUE	DATE

Drawing:

EXISTING CONDITIONS AND DEMOLITION PLAN - EAST

Sheet No:

C1.00B

FILE: O:\0320-PORTLAND\DCI-CIVIL\2021\21032-0039 STEEPLEJACK MANZANITA\0-DRAWINGS\SHEETS\21032-0039_EXST-COND-PLAN-EAST
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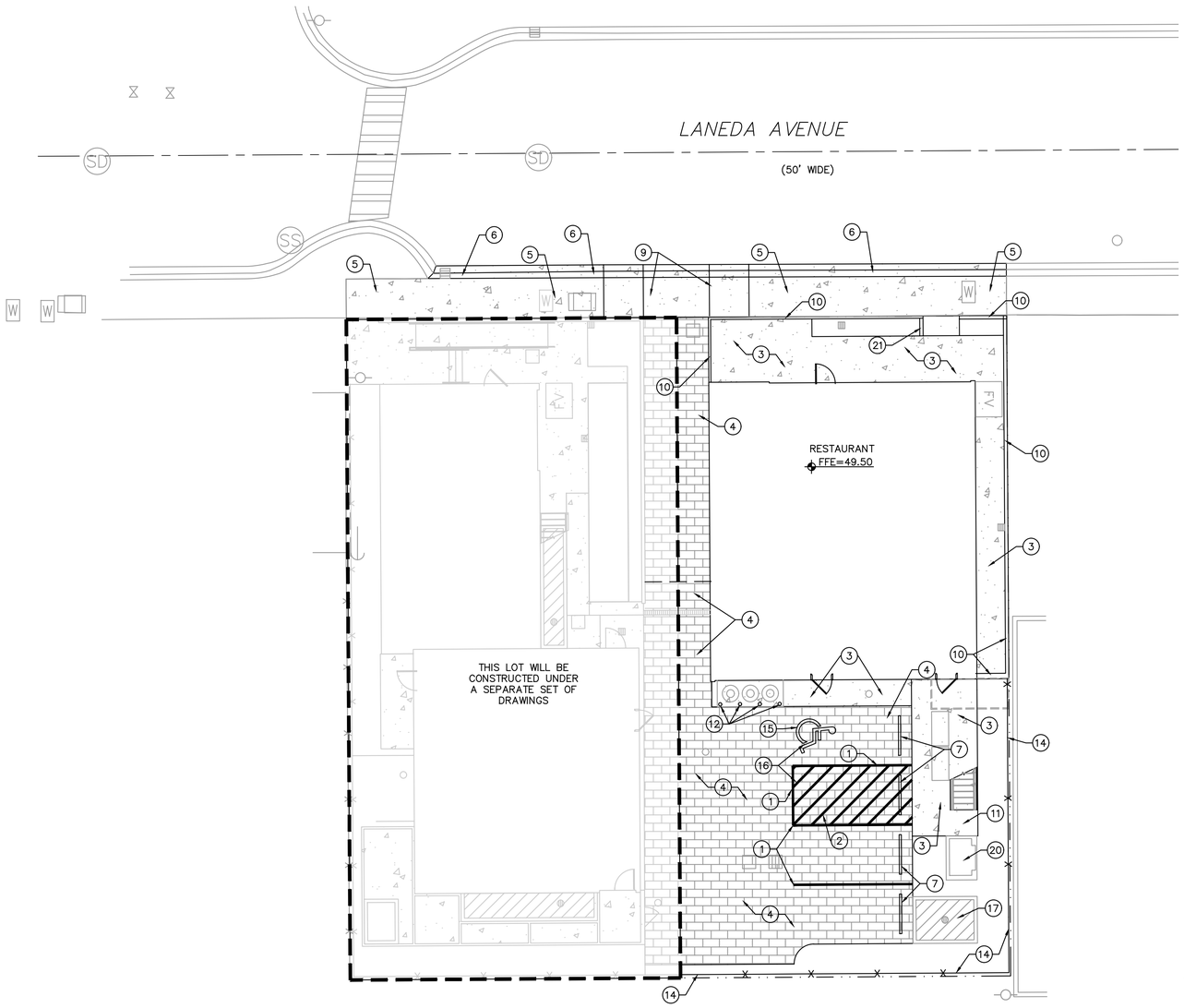

GENERAL SITE LAYOUT NOTES:

1. PAVEMENT REMOVAL AND PATCHING FOR UTILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY OF MANZANITA PUBLIC WORKS DEPARTMENT AND ODOT DRAWINGS.
2. TRAFFIC CONTROL FOR THE SITE SHALL FOLLOW THE PROVISIONS IN THE MOST CURRENT VERSION OF THE MUTCD.
3. REFER TO LANDSCAPING PLANS FOR LANDSCAPE REQUIREMENTS AND FIRE GRADING NOT SHOWN ON THE CIVIL SHEETS.
4. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 1.5% MAXIMUM, TOWARDS THE PARKING FIELD.

(X) SITE LAYOUT KEYNOTES:

1. PAINT 4" WIDE, WHITE STRIPE.
2. PAINT 4" WIDE, WHITE STRIPE AT A 45° ANGLE, SPACED 2' ON CENTER.
3. CONSTRUCT NEW CONCRETE AREA PER DETAIL 2/C2.10B. COORDINATE LAYOUT AND SURROUNDING AREAS WITH LANDSCAPE PLANS.
4. CONSTRUCT NEW PERVIOUS PAVER AREA PER DETAIL 4/C2.10B.
5. CONSTRUCT NEW CONCRETE SIDEWALK WITHIN PUBLIC RIGHT-OF-WAY PER DETAIL 2/C2.10B.
6. CONSTRUCT NEW CONCRETE ROLLED CURB AND GUTTER PER CITY OF MANZANITA PUBLIC WORKS STANDARDS.
7. INSTALL NEW CONCRETE PARKING BUMPER, 6' LONG, 8" WIDE. SECURE TO PAVEMENT.
8. NOT USED.
9. CONSTRUCT NEW CONCRETE DRIVEWAY PER CITY OF MANZANITA PUBLIC WORKS STANDARDS. CONSTRUCT WITH #4 REBAR @ 18" O.C., EACH WAY.
10. CONSTRUCT NEW WALL PER STRUCTURAL AND LANDSCAPE PLANS AND DETAILS.
11. CONSTRUCT LANDING AT BASE OF STAIRS. LANDING SHALL NOT EXCEED 1.8% IN ANY DIRECTION.
12. CONSTRUCT NEW BOLLARDS PER DETAIL 5/C2.10B.
13. NOT USED.
14. CONSTRUCT NEW FENCE PER ARCHITECTURAL DETAILS.
15. PAINT NEW ADA WHEELCHAIR SYMBOL PER DETAIL 1/C2.10B.
16. CONSTRUCT NEW VAN-ACCESSIBLE PARKING AREA PER DETAIL 1/C2.10B. AREA SHALL NOT EXCEED 1.8% SLOPE IN ANY DIRECTION.
17. CONSTRUCT STORMWATER PLANTER WALL. SEE STORMWATER PLAN AND DETAILS FOR FURTHER INFORMATION.
18. NOT USED.
19. NOT USED.
20. INSTALL TRANSFORMER PER ELECTRICAL PLANS.
21. INSTALL NEW 6" WIDE CONCRETE TRANSITION CURB. ELEVATION OF TOP OF CURB SHALL REMAIN LEVEL, WHILE ENTRY WALKWAY SHALL BE SLOPED PER SHEET C3.00.

N

GRAPHIC SCALE

10 0 5 10

(IN FEET)
1 INCH = 10 FEET

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Drawing:

SITE LAYOUT PLAN - EAST

Sheet No:

C2.00B

FILE: O:\0320-PORTLAND\DCI-CIVIL\2021\21032-0039 STEEPLEJACK MANZANITA\0-DRAWINGS\SHEETS\21032-0039_LAYOUT-PLAN-EAST
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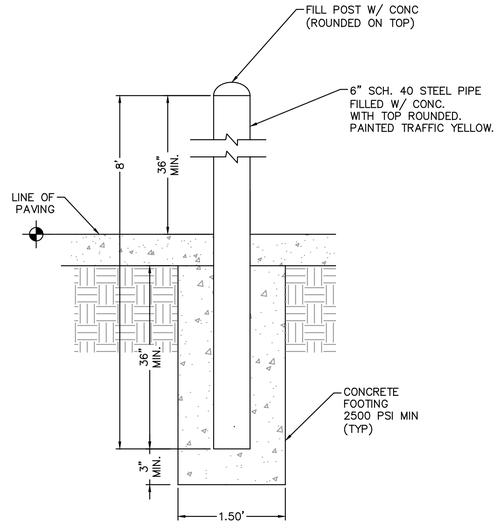
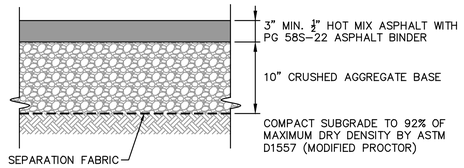


APPLY TWO (2) COATS OF EPOXY COATING PER AWWA 2210/213 AND ONE (1) COAT OF YELLOW PAINT OF AN APPROVED BRAND TO GUARD POSTS.

BOLLARD DETAIL
SCALE: NTS
5 C2.10B



FOR FURTHER PAVEMENT REQUIREMENTS, REFER TO SECTION 4.6 OF THE REPORT OF GEOTECHNICAL ENGINEERING SERVICES FOR STEEPLEJACK BREWING – MANZANITA, DATED JANUARY 20, 2022, PREPARED BY NV5.

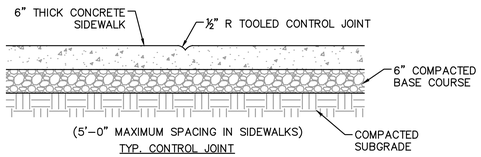
WOVEN SEPARATION FABRIC SHALL MEET THE SPECIFICATIONS PROVIDED IN ODOT SPECIFICATION SECTION 00350 AND 02320 – TABLE 02320–4 GEOTEXTILE PROPERTY VALUES.

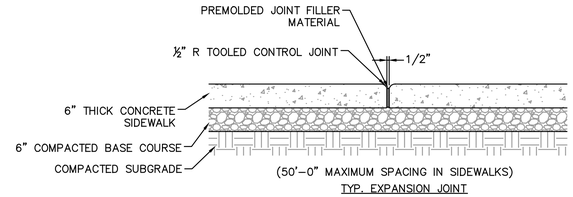
ASPHALT CEMENT BINDER SHALL BE PG 64–22 ASPHALT CEMENT IN LEVEL 2.

ASPHALT CONSTRUCTION SHALL FOLLOW ODOT SPECIFICATION SPECIAL PROVISION 00745. PLACE THE AC SECTION USING A MINIMUM LIFT THICKNESS OF 2–INCHES AND A MAXIMUM LIFT THICKNESS OF 3–INCHES. LIME OR LATEX TREATMENT OF AGGREGATE IS NOT REQUIRED.

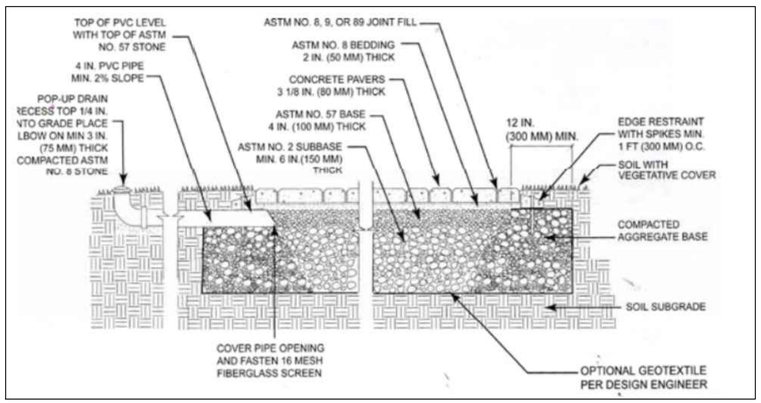
AGGREGATE BASE SHALL FOLLOW ODOT SPECIFICATION 00641 (¾"–0 OR 1"–0)

ASPHALT PAVEMENT SECTION
SCALE: NTS
3 C2.10B





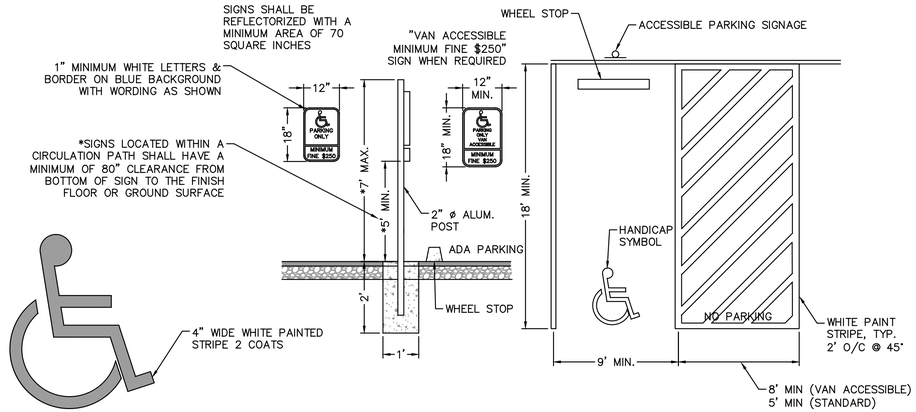
SIDEWALK DETAIL
SCALE: NTS
2 C2.10B



PAVERS ARE DESIGNED TO BE ECO–PRIORA 8"X8" PAVERS, INSTALLED IN A "RUNNING BOND (8X8) PATTERN.

REFER TO LANDSCAPE DRAWINGS FOR FURTHER INFORMATION.

PERVIOUS CONCRETE PAVERS DETAIL
SCALE: NTS
4 C2.10B



ACCESSIBLE PARKING SPACE
SCALE: NTS
1 C2.10B

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Drawing:

SITE LAYOUT DETAILS - EAST

Sheet No:

C2.10B

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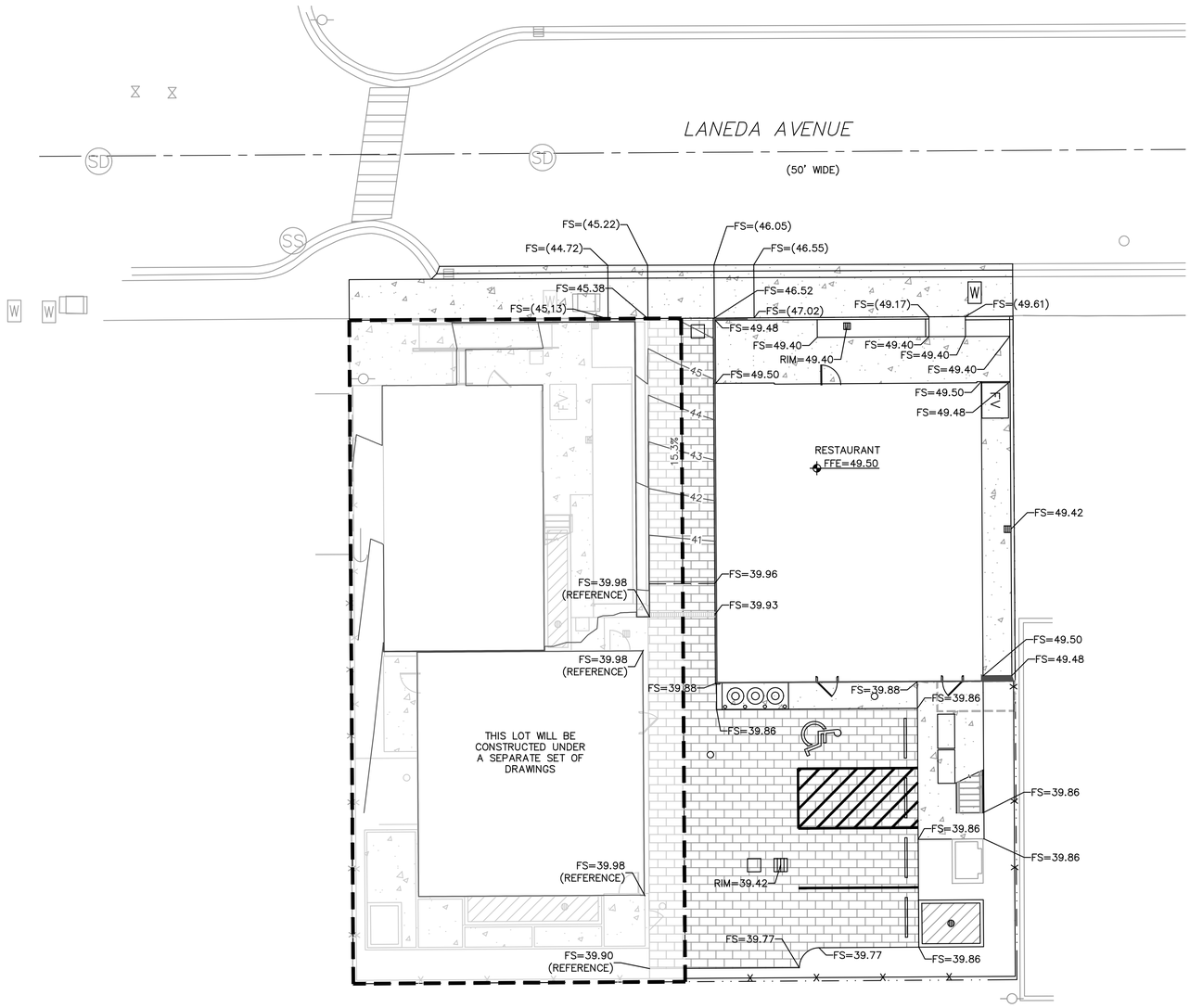

GENERAL SITE LAYOUT NOTES:

1. PAVEMENT REMOVAL AND PATCHING FOR UTILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY OF MANZANITA PUBLIC WORKS DEPARTMENT AND ODOT DRAWINGS.
2. TRAFFIC CONTROL FOR THE SITE SHALL FOLLOW THE PROVISIONS IN THE MOST CURRENT VERSION OF THE MUTCD.
3. REFER TO LANDSCAPING PLANS FOR LANDSCAPE REQUIREMENTS AND FIRE GRADING NOT SHOWN ON THE CIVIL SHEETS.
4. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 1.5% MAXIMUM, TOWARDS THE PARKING FIELD.

HATCH LEGEND:

PORTLAND CEMENT CONCRETE

PERMEABLE PAVERS. REFERENCE LANDSCAPE PLANS AND SPECIFICATIONS FOR MATERIALS.

N

GRAPHIC SCALE

10 0 5 10

(IN FEET)
1 INCH = 10 FEET

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Drawing:

GRADING PLAN - EAST

Sheet No:

C3.00B

FILE: O:\0320-PORTLAND\DCI-CIVIL\2021\21032-0039 STEEPLEJACK MANZANITA\0-DRAWINGS\SHEETS\21032-0039_GRAD-PLAN-EAST
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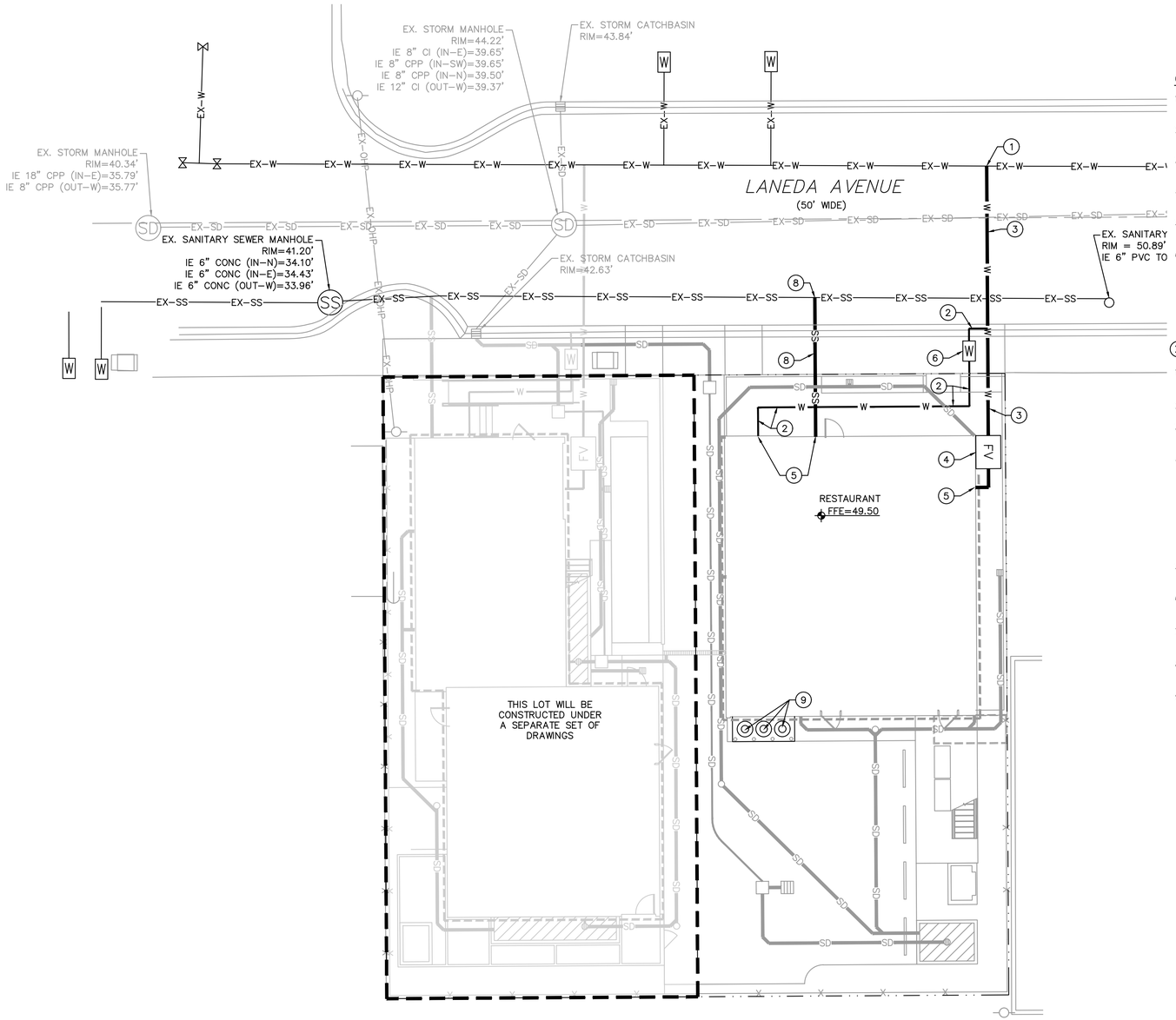

GENERAL UTILITY NOTES:

1. ALL PLUMBING ON PUBLIC AND PRIVATE PROPERTY SHALL BE REVIEWED AND INSPECTED BY CITY OF MANZANITA BUILDING DIVISION
2. COORDINATE EXISTING UTILITY REMOVALS AND RECONNECTIONS WITHIN RIGHT-OF-WAY WITH RELEVANT UTILITY STANDARDS AND INSPECTORS.
3. COORDINATE LIGHT FIXTURES AND LOCATIONS WITH ELECTRICAL SITE DRAWINGS.
4. ALL SANITARY SEWER PIPES DESIGNED WITH GRADES LESS THAN 2% SHALL HAVE INVERT ELEVATIONS VERIFIED PRIOR TO BACKFILLING.
5. PAVEMENT CUTTING, PATCHING, AND BACKFILLING RELATED TO UTILITY TRENCHING WITHIN THE PAVED AREAS SHALL BE PER DETAIL 3/C4.10B.
6. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION.

(X) UTILITY KEYNOTES:

1. TAP NEW 6" WATER SERVICE LINE TO EXISTING 10" LINE IN STREET PER CITY OF MANZANITA PUBLIC WORKS STANDARDS. SEE DETAIL 4/C4.10B.
2. CONSTRUCT NEW 2" CL-52, DUCTILE IRON WATER LINE.
3. CONSTRUCT NEW 6" CL-52, DUCTILE IRON COMBINATION WATER AND FIRE LINE.
4. CONSTRUCT NEW 6" FIRE SERVICE CONNECTION AND DDCA VAULT PER DETAIL 1/C4.10B. VAULT RIM SHALL BE SET TO MATCH FINISH GRADE.
   - 4.1. PROVIDE SUMP PUMP PER DCDA DETAIL. PROVIDE PIPING TO APPROVED DISCHARGE LOCATION.
   - 4.2. COORDINATE WITH ELECTRICAL CONTRACTOR TO PROVIDE SERVICE TO SUMP PUMP.
   - 4.3. PROVIDE (2) 1" DIAMETER CONDUITS FROM FIRE VAULT TO ELECTRICAL ROOM LOCATION.
   - 4.4. PROVIDE TAMPER SWITCH.
5. COORDINATE CONNECTION TO BUILDING WITH PLUMBING AND MECHANICAL DRAWINGS.
6. INSTALL NEW 2" WATER METER PER CITY OF MANZANITA STANDARDS. SEE DETAIL 4/C4.10B.
7. CONSTRUCT NEW 6" SDR35 PVC SANITARY SEWER PIPE. SLOPE SHALL BE 2.00% MIN., UNLESS ELEVATIONS SHOWN OTHERWISE.
8. TAP NEW 6" SANITARY SEWER LINE TO EXISTING _" LINE IN STREET PER CITY OF MANZANITA PUBLIC WORKS STANDARDS. SEE DETAIL 2/C4.10B.
9. INSTALL NEW GAS TANKS PER MEP PLANS.

GRAPHIC SCALE
10 0 5 10
(IN FEET)
1 INCH = 10 FEET

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Drawing:
UTILITY PLAN - EAST

Sheet No:
C4.00B

FILE: O:\0320-PORTLAND\DCI-CIVIL\2021\21032-0039 STEEPLEJACK MANZANITA\0-DRAWINGS\SHEETS\21032-0039_UTIL-PLAN-EAST
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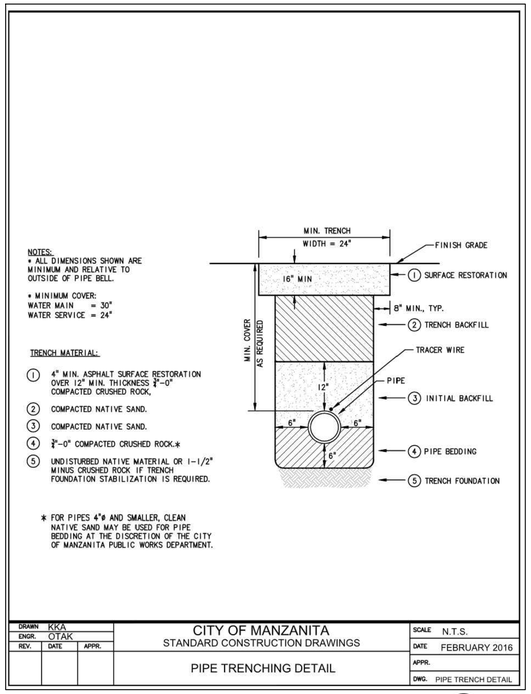
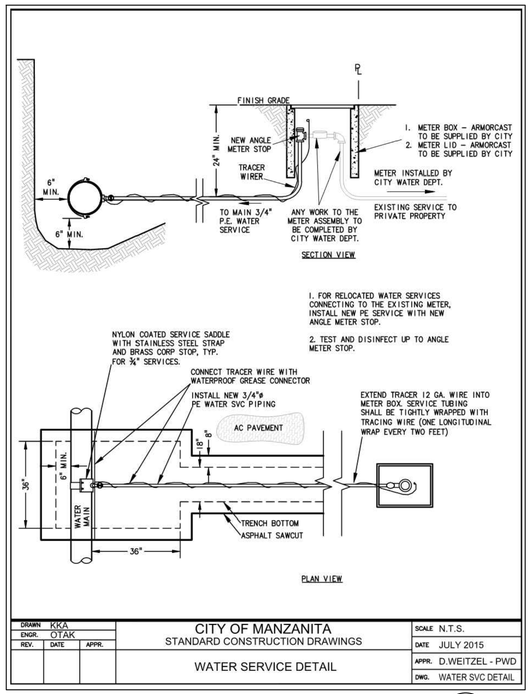


PIPE TRENCH DETAIL
SCALE: NTS

3
C4.10B



WATER SERVICE DETAIL
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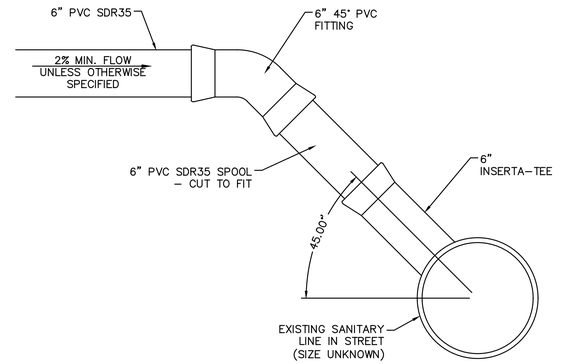
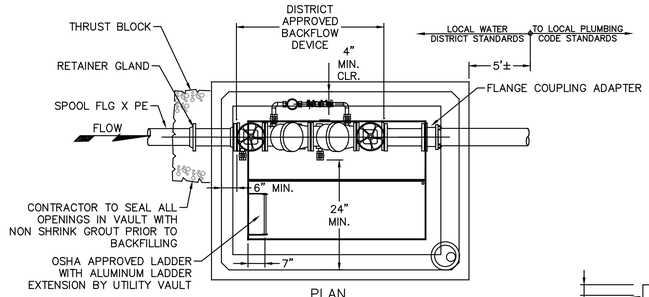
4
C4.10B



SANITARY LATERAL TAP
SCALE: NTS

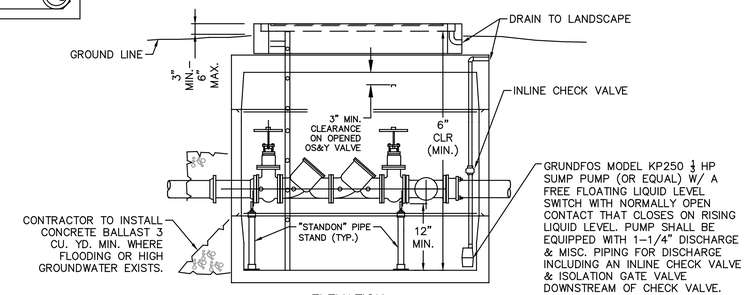
2
C4.10B



PLAN

SIZE	UTILITY VAULT OR *EQUAL	BILCO DOOR OR *EQUAL
4	577–WA	J–5AL
6	676–WA	J–5AL
8	687–WA	JD–3AL
10	5106–LA	JD–3AL

* SUBMIT "OF EQUAL" PRODUCT FOR APPROVAL PRIOR TO PROCUREMENT



ELEVATION

FIRE LINE DOUBLE CHECK DETECTOR
NOTE: NOT TO SCALE

DCDA FIRE VAULT DETAIL
SCALE: NTS

1
C4.10B

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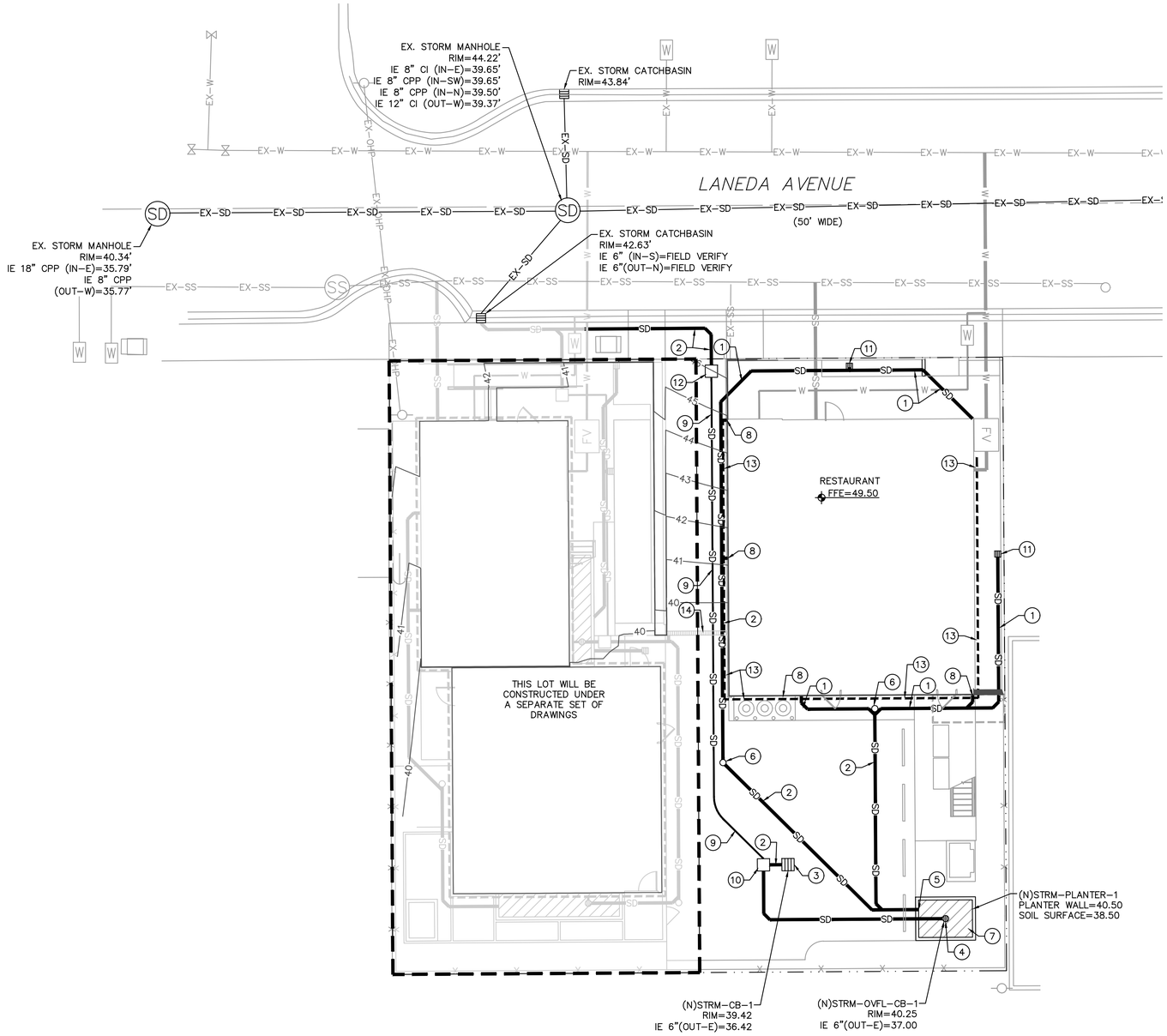
UTILITY DETAILS - EAST

Sheet No:

C4.10B



GENERAL NOTES:

1. IN PAVEMENT AREAS WHERE COVER OVER STORMWATER LINES IS LESS THAN 24", THE LINE SHALL BE COMPRISED OF PVC C900 PIPING.
2. ROOF CONNECTIONS SHALL BE COORDINATED WITH ARCHITECTURAL ROOF AND PLUMBING DRAWINGS.
3. REFER TO LANDSCAPE PLANS FOR PLANTINGS WITHIN STORMWATER FACILITIES.
4. COORDINATE UTILITY CONSTRUCTION WITH WALL CONSTRUCTION. UTILITY CONSTRUCTION SHALL NOT INTERFERE WITH CONSTRUCTED WALL.
5. UTILITY TRENCHING SHALL BE CONSTRUCTED PER DETAIL 3/C4.10B.
6. REFER TO LANDSCAPE PLANS FOR DITCH RENOVATIONS AND CONSTRUCTION.

(#) STORMWATER UTILITY KEYNOTES:

1. CONSTRUCT NEW 6" SDR35 PVC STORM DRAINAGE PIPE. SLOPE AND LENGTH PER PLAN.
2. CONSTRUCT NEW 6" DUCTILE IRON STORM DRAINAGE PIPE. SLOPE AND LENGTH PER PLAN.
3. CONSTRUCT NEW STORMWATER CATCH BASIN PER DETAIL 2/C5.10B.
4. CONSTRUCT NEW 12" OVERFLOW DRAIN STRUCTURE PER DETAILS 4 AND 5/C5.10B.
5. DAYLIGHT PIPE IN PLANTER WALL. PROVIDE 2' X 2' WIDE AND 6" THICK RIPRAP PAD AT OUTLET.
6. CONSTRUCT NEW CLEANOUT TO GRADE PER DETAIL 1/C5.10B.
7. CONSTRUCT UNLINED STORMWATER PLANTER PER DETAIL 4/C5.10B. AREAS WITHIN INFILTRATION BASINS SHALL BE PROTECTED FROM USE AS CONSTRUCTION STORAGE AREAS AND OVER-COMPACTION BY EQUIPMENT THROUGHOUT THE CONSTRUCTION PERIOD. SEE PLANS FOR DIMENSION DESCRIPTIONS FOR EACH FACILITY.
8. CONNECT TO BUILDING ROOF DRAIN LOCATION. LOCATION OF ALL ROOF DRAINS SHALL BE PER THE ARCHITECTURAL ROOF AND PLUMBING DRAWINGS. COORDINATE INVERT ELEVATIONS WITH STRUCTURAL PLANS TO AVOID FOOTING. SEE DETAIL 3/C5.10B.
9. CONSTRUCT NEW 2" PRESSURIZED STORMWATER LINE. TRENCHING MAY BE SHARED WITH NEW STORMWATER LINES WHERE PROXIMITY ALLOWS.
10. CONSTRUCT NEW STORMWATER PUMP STATION.
11. CONSTRUCT NEW 12" LANDSCAPE AREA DRAIN PER DETAIL 5/C5.10B. COORDINATE FINAL DESIGN WITH LANDSCAPE PLANS.
12. CONSTRUCT NEW STORMWATER DISCHARGE STRUCTURE FROM A PRESSURIZED LINE TO A GRAVITY LINE. STRUCTURE SHALL BE CONSTRUCTED FROM A 24" ROUND REINFORCED CONCRETE PIPE WITH METAL LID.
13. CONSTRUCT NEW 4" PERFORATED FOUNDATION DRAIN AROUND BUILDING. SEE DETAIL 6/C5.10B. CONNECT TO ADJACENT ROOF DRAIN STORMWATER LINES THROUGH A BACKFLOW DEVICE (RECTORSEAL "CLEAN CHECK" EXTENDABLE BACKWATER VALVE OR APPROVED EQUAL).
14. CONSTRUCT NEW TRENCH DRAIN. STYLE AND MATERIAL SHALL BE PER ARCHITECTURAL AND LANDSCAPE DESIGN.

N

GRAPHIC SCALE

10 0 5 10

(IN FEET)
1 INCH = 10 FEET

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Drawing:

STORMWATER PLAN - EAST

Sheet No:

C5.00B

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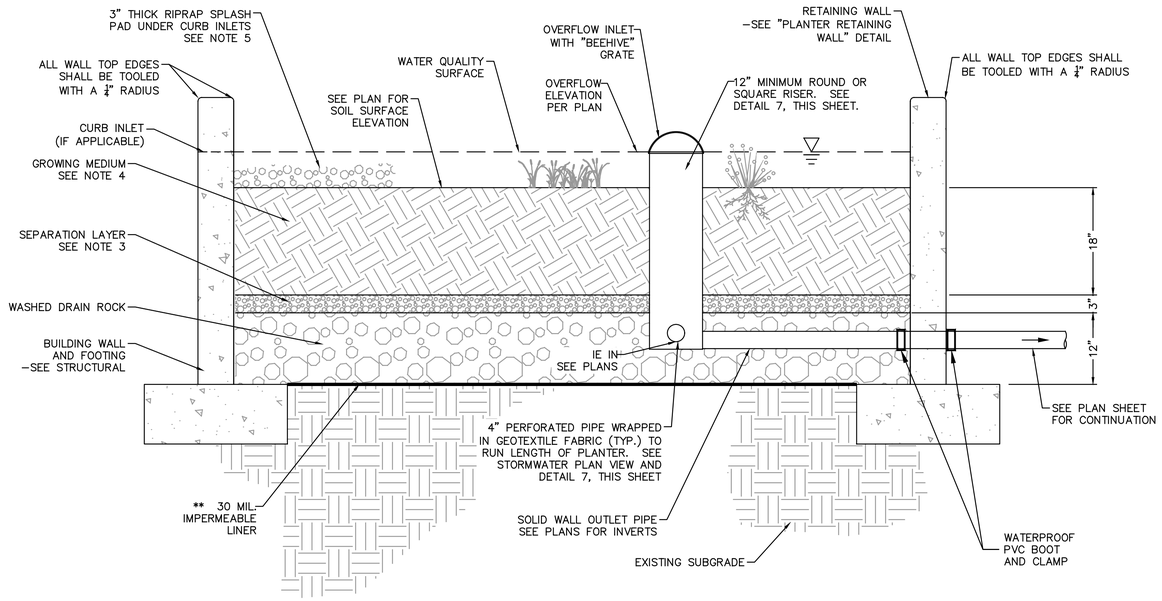
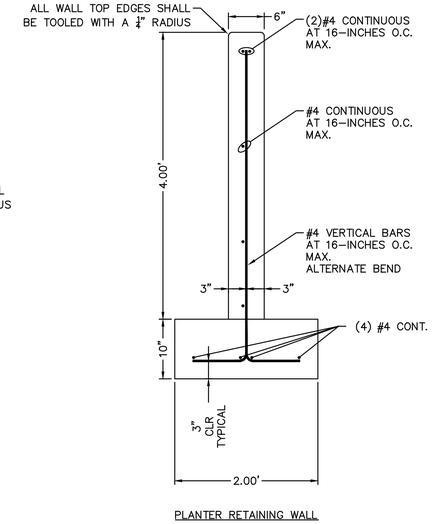


STORMWATER FILTRATION BASIN WITH WALLS
SCALE: NTS

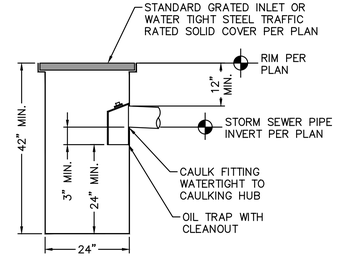
4 C5.10B



PLANTER RETAINING WALL

FILTRATION PLANTER GENERAL NOTES:

1. PROVIDE PROTECTION FROM ALL VEHICLE TRAFFIC, EQUIPMENT STAGING, AND FOOT TRAFFIC IN PROPOSED STORMWATER AREAS PRIOR TO, DURING, AND AFTER CONSTRUCTION.
2. DRAIN ROCK:
   - 2.1. SIZE FOR FLOW–THROUGH PLANTER: 2" TO ¾" CLEAN WASHED
   - 2.2. 12" DEPTH
3. SEPARATION BETWEEN DRAIN ROCK AND GROWING MEDIUM:
   - 3.1. USE FILTER FABRIC OR A GRAVEL LENS (⅜ – ¼ INCH WASHED, CRUSHED ROCK 2 TO 3 INCHES DEEP).
4. GROWING MEDIUM WITH 10% MAX. FINES (PASSING #200):
   - 4.1. 18" MINIMUM
   - 4.2. VEGETATION: PER LANDSCAPING PLANS.
5. PLANTER WALLS:
   - 5.1. SEE PLANTER RETAINING WALL DETAIL THIS SHEET.
   - 5.2. INSTALL RIVER ROCK OR SPLASH PAD TO TRANSITION FROM INLET TO GROWING MEDIUM.

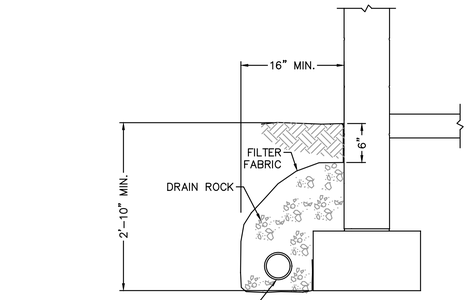


NOTES

1. CATCH BASIN TO BE CONSTRUCTED OF 10 GAUGE (MINIMUM) STEEL WITH ALL JOINTS WELDED.
2. STEEL OIL TRAP CLEANOUT TO BE PLUGGED OR HINGED ACCESS.
3. CAULK PIPE TO CAULKING HUB.
4. SET CATCH BASIN ON 6" THICK COMPACTED CRUSHED ROCK BASE.
5. BACKFILL AROUND CATCH BASIN WITH COMPACTED CRUSHED ROCK.

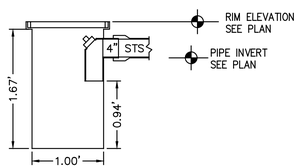
STANDARD CATCH BASIN
SCALE: NTS

2 C5.10B



FOUNDATION DRAIN DETAIL
SCALE: NTS

6 C5.10B

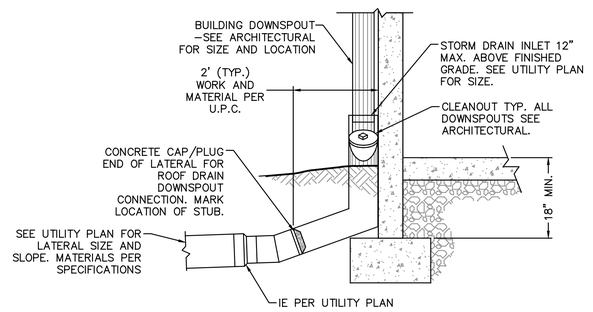


NOTES:

1. (MINIMUM) STEEL WITH ALL JOINTS WELDED. CATCH BASIN CAN BE ROUND OR SQUARE. NYLOPLAST BASINS WITH ENVIROHOOD STRUCTURE MAY BE SUBSTITUTED.
2. CAULK PIPE TO CAULKING HUB.
3. SET CATCH BASIN ON 6" THICK COMPACTED CRUSHED ROCK BASE.
4. BACKFILL AROUND CATCH BASIN WITH COMPACTED CRUSHED ROCK.

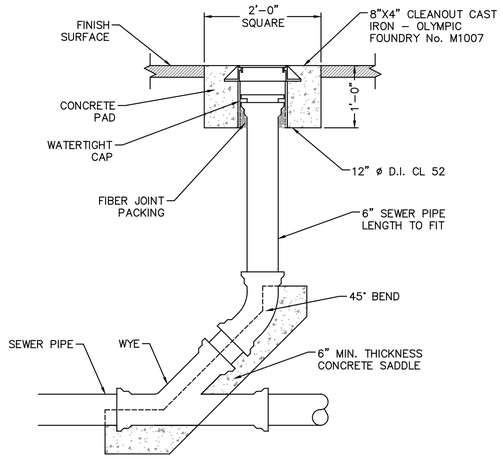
AREA CATCH BASIN DETAIL
SCALE: NTS

5 C5.10B



DOWNSPOUT CONNECTION DETAIL
SCALE: NTS

3 C5.10B



TYPICAL CLEANOUT
SCALE: NTS

1 C5.10B

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STEEPLEJACK MANZANITA

Job Number: 21032-0039

220 LANEDA AVE
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ISSUE **DATE**

Drawing:

STORMWATER DETAILS - EAST

Sheet No:

C5.10B

FILE: O:\10320-PORTLAND\DCI-CIVIL\2021\21032-0039 STEEPLEJACK MANZANITA\0-DRAWINGS\SHEETS\21032-0039_STRM-DETL-EAST
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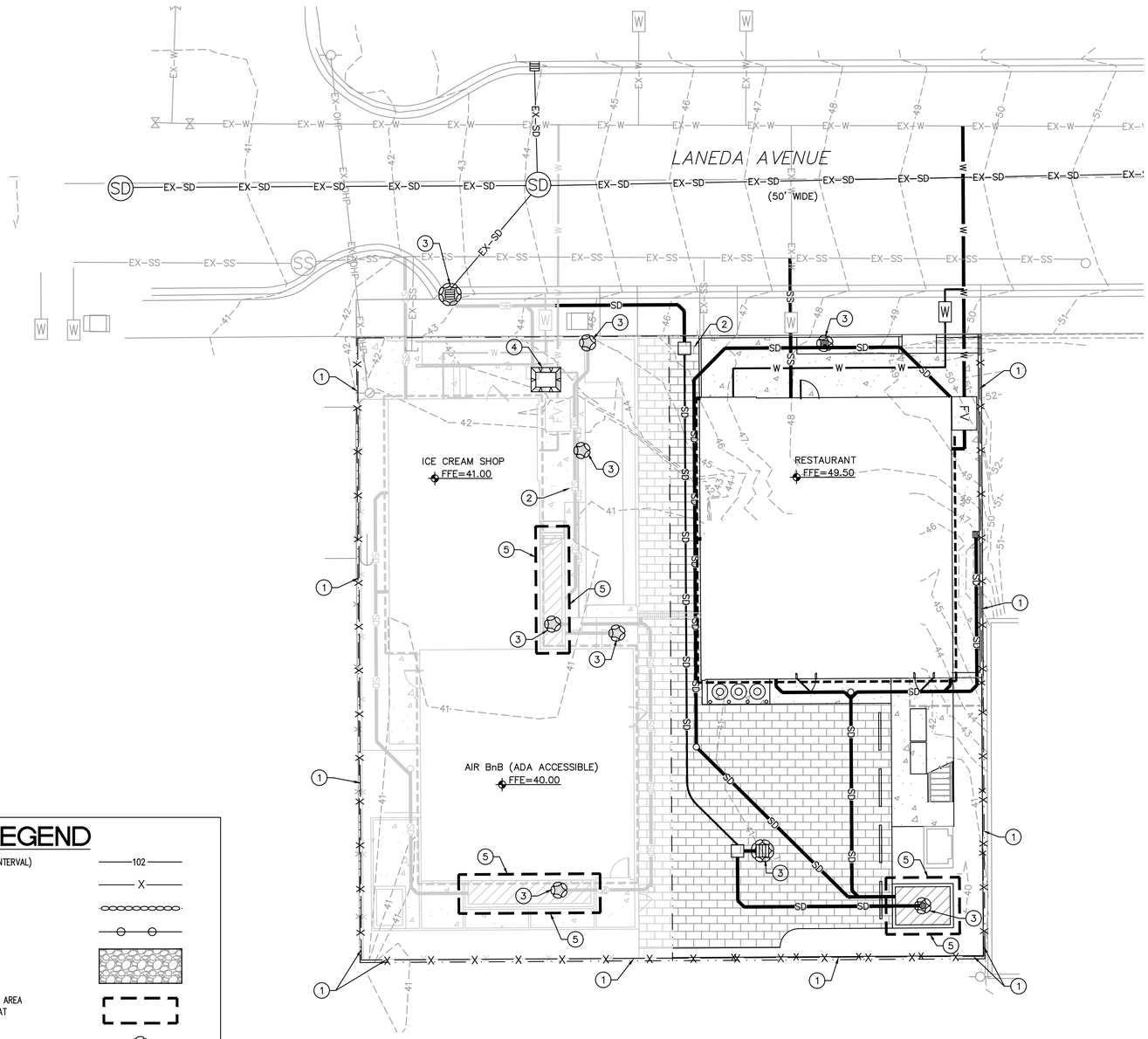

LEGEND

- FINISHED GRADE CONTOUR (1 FT INTERVAL) — 102
- SEDIMENT BARRIER (PERIMETER) — X
- SEDIMENT BARRIER (INTERIOR)
- ORANGE CONSTRUCTION FENCE
- CONSTRUCTION ENTRANCE
- INFILTRATION FACILITY PROTECTION AREA (DO NOT COMPACT NATIVE SOILS AT FACILITY SUBGRADE ELEVATION)
- INLET PROTECTION
- CONCRETE WASHOUT
- OUTLET PROTECTION
- NEW IMPERVIOUS SURFACE
- POST-DEVELOPMENT DRAINAGE FLOW DIRECTION
- PRE-DEVELOPMENT DRAINAGE FLOW DIRECTION

GRADING, STREET, AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:

1. SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COORDINATED WITH LANDSCAPING PLANS.
2. SLOPES TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
3. LONG TERM SLOPE STABILIZATION MEASURES AND RE-ESTABLISHMENT OF DISTURBED SLOPES STEEPER THAN 3H:1V SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA HYDROSEEDING WITH APPROVED MIX AND APPLICATION RATE AND HIGH DENSITY JUTE MATTING. SEE LANDSCAPE PLANS FOR FURTHER INFORMATION IN LONG TERM SLOPE STABILIZATION AREAS.
4. TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
5. STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
6. EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
7. AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
10. SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
11. AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
12. SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
13. AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
14. USE BMPS SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
15. COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

(#) EROSION AND SEDIMENT CONTROL NOTES:

1. INSTALL SEDIMENT FENCE PER DETAIL 3/C9.10.
2. INSTALL AND MAINTAIN 20' X 50' STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 1/C9.10. REUSABLE TRACKOUT CONTROL MATS MAY BE USED IN LIEU OF A QUARRY SPALL ENTRANCE, IF APPROVED BY THE PROJECT'S CITY EROSION CONTROL INSPECTOR.
3. INSTALL STORM DRAIN INLET PROTECTION PER DETAIL 2/C9.10.
4. INSTALL CONCRETE WASHOUT. PORTABLE CONCRETE WASHOUT BINS MAY BE USED IN LIEU IF APPROVED BY THE PROJECT'S CITY EROSION CONTROL INSPECTOR.
5. PROTECT INFILTRATION FACILITY AREA. DO NOT COMPACT SOILS IN STORMWATER BASIN AREAS. STORMWATER BASIN AREAS SHALL PRESERVE EXISTING SOIL DENSITY BY LIMITING HEAVY MACHINERY AND VEHICLE TRACKING.

N

GRAPHIC SCALE

10 0 5 10

(IN FEET)
1 INCH = 10 FEET

SPECIAL NOTE:
SITE SOILS ARE SANDY AND MOISTURE SENSITIVE. CONTRACTORS SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND SITE-SPECIFIC GEOLOGIC HAZARDS EVALUATION STEEPLEJACK BREWING – MANZANITA, DATED JANUARY 20, 2022 BY NV5.

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STEEPLEJACK MANZANITA

Job Number: 21032-0039

220 LANEDA AVE
MANZANITA, OR, 97130

ISSUE	DATE

Drawing:

EROSION CONTROL PLAN - EAST

Sheet No:

C9.00B

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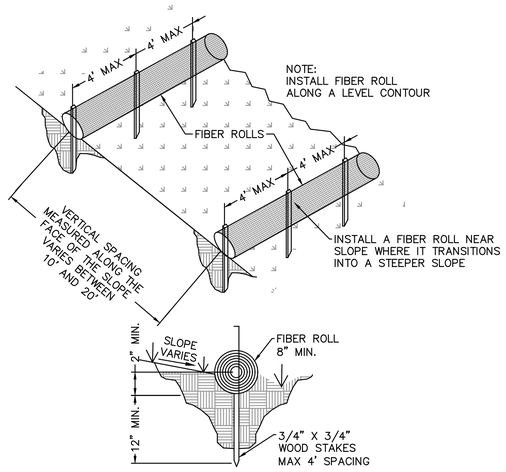
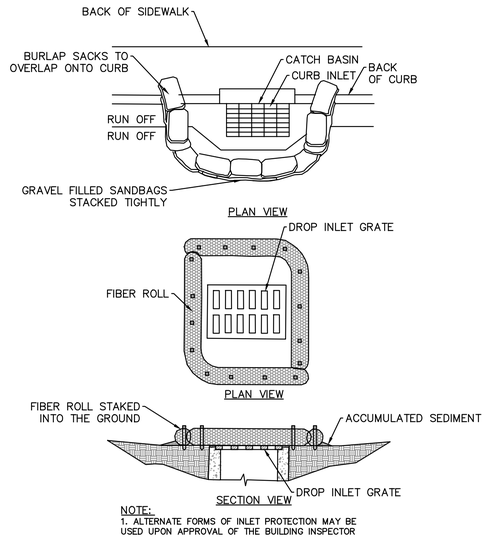


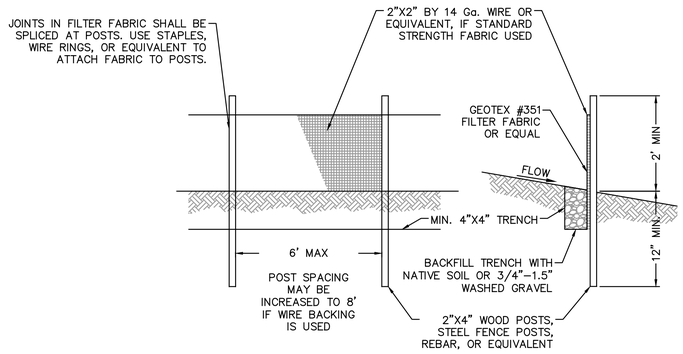
WATTLES/FIBER ROLLS DETAIL
SCALE: N.T.S.

4
C9.10



INLET PROTECTION DETAIL
SCALE: N.T.S.

2
C9.10

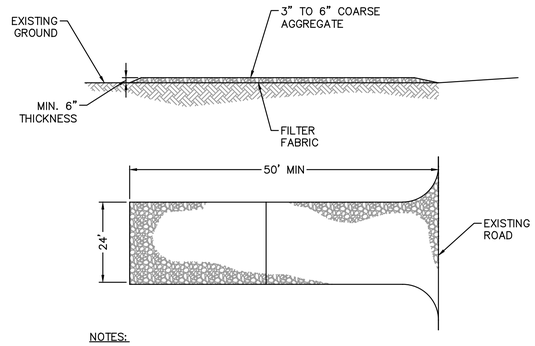


MAINTENANCE STANDARDS

1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGN OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCUR, REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 1/3 THE HEIGHT OF THE FENCE.
5. IF THE FILTER FABRIC HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

SEDIMENT FENCE DETAIL
SCALE: N.T.S.

3
C9.10



NOTES:

1. USE 3" TO 6" COARSE AGGREGATE. MATERIAL WITH "FINES" IS NOT ACCEPTABLE.
2. THE 50' MINIMUM LENGTH SHALL BE LENGTHENED AS NECESSARY TO INSURE MATERIAL IS NOT TRACKED INTO THE PUBLIC RIGHT-OF-WAY.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
SCALE: N.T.S.

1
C9.10

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STEEPLEJACK MANZANITA

Job Number: 21032-0039

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ISSUE	DATE

Drawing:

EROSION CONTROL DETAILS - EAST

Sheet No:

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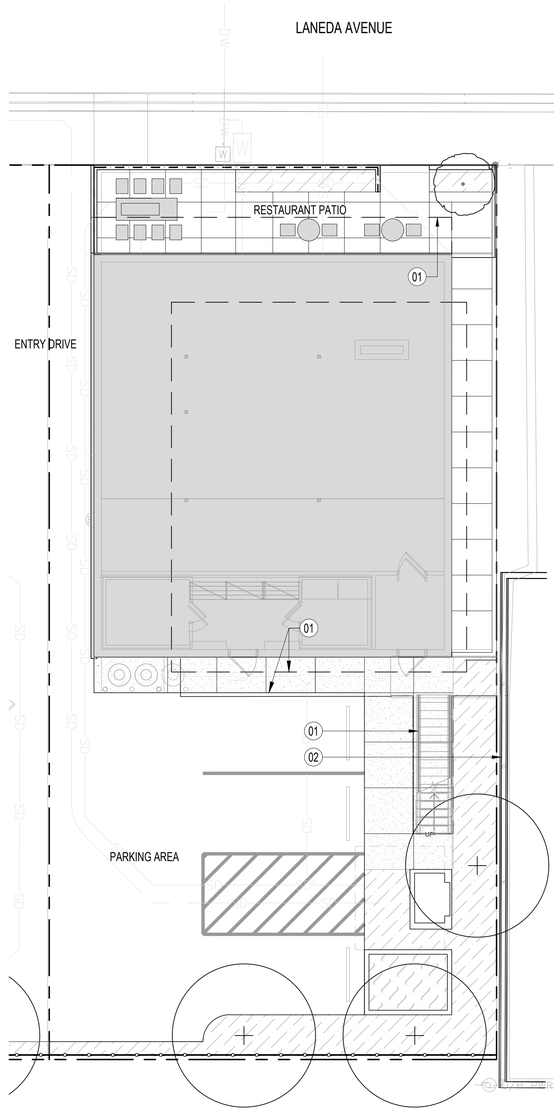

LANDSCAPE LEGEND

PROPERTY LINE

PROPOSED TREE

CONCRETE PAVING (1,816 SF)

PLANTING AREA (460 SF)

STORMWATER PLANTING AREA (55 SF)

LANDSCAPE CALCS - EAST LOT

PLANTING AREA (537 SF)

OPEN SPACE - LEVEL 1 (361 SF)

OPEN SPACE - LEVEL 2 (756 SF)

KEYNOTES

01 STRUCTURE OVERHEAD, PER ARCHITECT

02 RETAINING WALL, OFFSITE

GENERAL NOTES

1. INFORMATION REGARDING EXISTING CONDITIONS USED TO PREPARE THESE DOCUMENTS HAS BEEN PROVIDED BY OTHERS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
2. SHOULD THERE BE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECTURAL, ARCHITECTURAL, OR ENGINEERING DRAWINGS, THE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT TO REVIEW AND COORDINATE BEFORE PROCEEDING WITH WORK. THE LANDSCAPE ARCHITECT WILL ISSUE A WRITTEN DIRECTIVE IF FURTHER CLARIFICATION IS REQUIRED.
3. THE CONTRACTOR SHALL ENSURE THAT ALL WORK MEETS ALL APPLICABLE LOCAL AND NATIONAL BUILDING AND SAFETY CODES THAT PERTAIN TO THE PROJECT WORK. IF THERE IS A DISCREPANCY BETWEEN A CODE AND THE CONTENT OF THE PLANS, THE CONTRACTOR IS TO CONSULT LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. PARKING, EQUIPMENT AND MATERIAL STORAGE IS PERMITTED ONLY IN THE AREA PROVIDED ON THIS PLAN. PARKING FOR MATERIAL STORAGE OUTSIDE THIS AREA, EVEN TEMPORARILY, WILL NOT BE PERMITTED.
5. LANDSCAPE/PLANTING CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT TO REVIEW PLANS BEFORE COMMENCING WORK IN ORDER TO ASSURE CLOSE COORDINATION.
6. PRIOR TO PROJECT COMPLETION, THE SITE IS TO BE THOROUGHLY CLEANED OF ALL CONSTRUCTION DEBRIS, SIGNS, ETC. AND REVIEWED BY LANDSCAPE ARCHITECT AND OTHER RELEVANT CONSULTANTS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO GROUND AND BOND ALL EXPOSED METAL OBJECTS IN LANDSCAPE AS REQUIRED BY CODE.
8. CONTRACTOR MUST CLEAN UP ALL TRASH AND DEBRIS ON THE CONSTRUCTION SITE AT THE END OF EACH DAY. LIGHTWEIGHT MATERIAL, PACKING, AND OTHER ITEMS MUST BE COVERED OR WEIGHTED DOWN TO PREVENT WIND FROM BLOWING SUCH MATERIALS OFF THE CONSTRUCTION SITE. CONTRACTORS ARE PROHIBITED FROM DUMPING, BURYING, OR BURNING TRASH ANYWHERE ON THE SITE. DURING THE CONSTRUCTION PERIOD, THE CONSTRUCTION SITE MUST BE KEPT NEAT AND TIDY TO PREVENT IT FROM BECOMING AN EYESORE FOR SURROUNDING PROPERTY OWNERS. DIRT, MUD, OR OTHER DEBRIS RESULTING FROM ACTIVITY ON THE SITE MUST BE PROMPTLY REMOVED FROM SURROUNDING ROADS.
9. CONTRACTOR IS TO CREATE A WORK SCHEDULE AND DISTRIBUTE TO OWNER, LANDSCAPE ARCHITECT, AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THE SCHEDULE IS TO CLEARLY OUTLINE DATES FOR:
   - 9.1. PRE-CONSTRUCTION MEETING TO REVIEW CONSTRUCTION FENCE, EROSION & SEDIMENT CONTROL MEASURES AND TREE PROTECTION MEASURES.
   - 9.2. REVIEW OF MATERIAL MOCKUPS (SEE MATERIAL NOTES).
   - 9.3. REVIEW OF SITE AND ARCHITECTURAL LAYOUTS.
   - 9.4. ALL RELEVANT ARCHITECTURAL, STRUCTURAL, POOL AND MEP REVIEWS.
   - 9.5. CONCRETE FOUNDATION AND SLAB REVIEW DATES.
   - 9.6. MASONRY REVIEW DATES.
   - 9.7. LANDSCAPE PLANTING TREE LAYOUTS (WITH FLAGS) AND PLANT QUANTITY REVIEW (BEFORE PLANTING).
   - 9.8. FINAL PLANTING AND HARDSCAPE REVIEW.
   - 9.9. PROJECT COMPLETION.

UTILITY NOTES

1. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE.
2. VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES IN THE FIELD AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN LAYOUT/GRADING AND UTILITIES PRIOR TO CONSTRUCTION.
3. TRENCHING FOR UTILITIES WILL BE PERMITTED IN APPROVED LOCATIONS ONLY. CONTRACTOR MUST ALERT LANDSCAPE ARCHITECT PRIOR TO TRENCHING FOR LOCATION REVIEW AND APPROVAL.

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LAND-USE REVIEW 06/03/2022
Issue **Date**

Drawing:

KEY PLAN

Sheet No:

L1.01B

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SCALE 1/8"=1'

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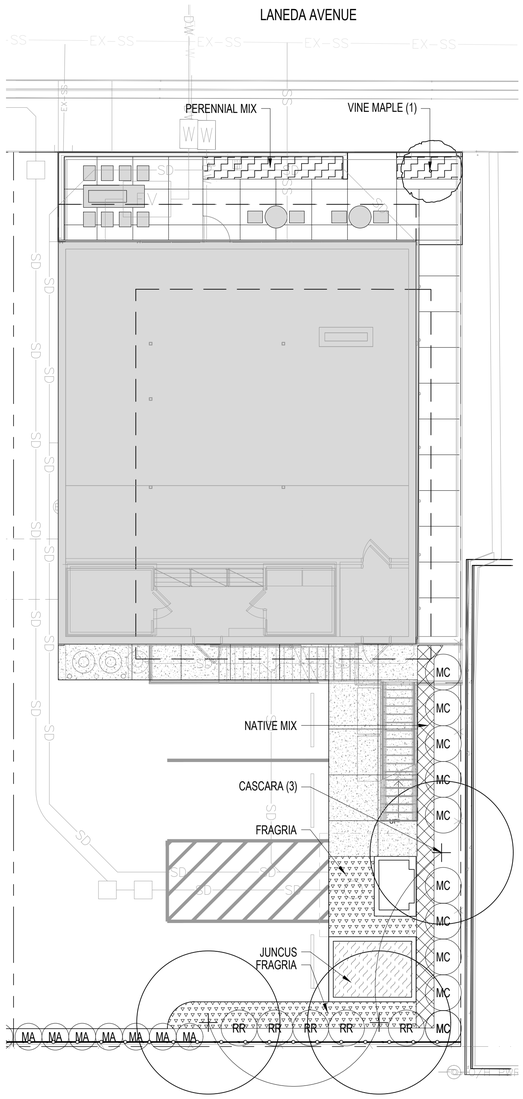

LANDSCAPE LEGEND

PROPERTY LINE

PLANTING SCHEDULE

TREES

SYM.	BOTANICAL NAME / COMMON NAME	SIZE
AC	ACER CIRCINATUM VINE MAPLE	2" CAL.
RP	RHAMNUS PURSHIANA CASCARA TREE	2" CAL

SHRUBS

SYM.	BOTANICAL NAME / COMMON NAME	SIZE
MA	MAHONIA REPENS CREEPING OREGON GRAPE	2 GAL.
MC	MYRICA CALIFORNICA PACIFIC WAX MYRTLE	5 GAL.
RR	RHODODENDRON X RAMAPO RAMAPO RHODODENDRON	2 GAL.

GROUNDCOVERS

SYM.	BOTANICAL NAME / COMMON NAME	SIZE
	PERENNIAL MIX (EVEN BLEND) VERBENA BONARIENSIS / LOLLIPOP VERBENA NASSELLA TENUISSIMA / NEEDLE GRASS ACHILLEA MILLEFOLIUM 'NEW VINTAGE WHITE' / BALVINWITE YARROW	1 GAL.
	FRAGARIA CHILOENSIS COASTAL STRAWBERRY	4 INCH
	NATIVE MIX CORNUS CANADENSIS/BUNCHBERRY DOGWOOD BLECHUM SPICANT/DEER FERN	2 GAL.
	STORMWATER PLANTER JUNCUS TENUIS/SOFT RUSH,	2 GAL.

PLANTING NOTES

1. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT PLANT QUANTITIES REQUIRED BASED ON THIS PLAN. QUANTITIES SHOWN IN PLANT CALLOUTS ARE FOR CONTRACTOR'S CONVENIENCE ONLY AND THE NUMBER OF ACTUAL PLANT SYMBOLS SHOWN SHALL TAKE PRECEDENCE IN THE CASE OF DISCREPANCIES.
2. ALL PLANTING AREAS TO BE FULLY IRRIGATED UNLESS OTHERWISE NOTED.
3. ALL PLANTS TO BE LAID OUT BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. CLEAR PROPOSED PLANTING AREAS OF ALL INVASIVE PLANTS PRIOR TO PLANTING. CONTACT LANDSCAPE ARCHITECT IF THERE ARE PLANTS THAT ARE QUESTIONABLE TO BE REMOVED.

0 4 8 16 24 40FT

SCALE 1/8"=1'

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PLANTING PLAN

Sheet No:

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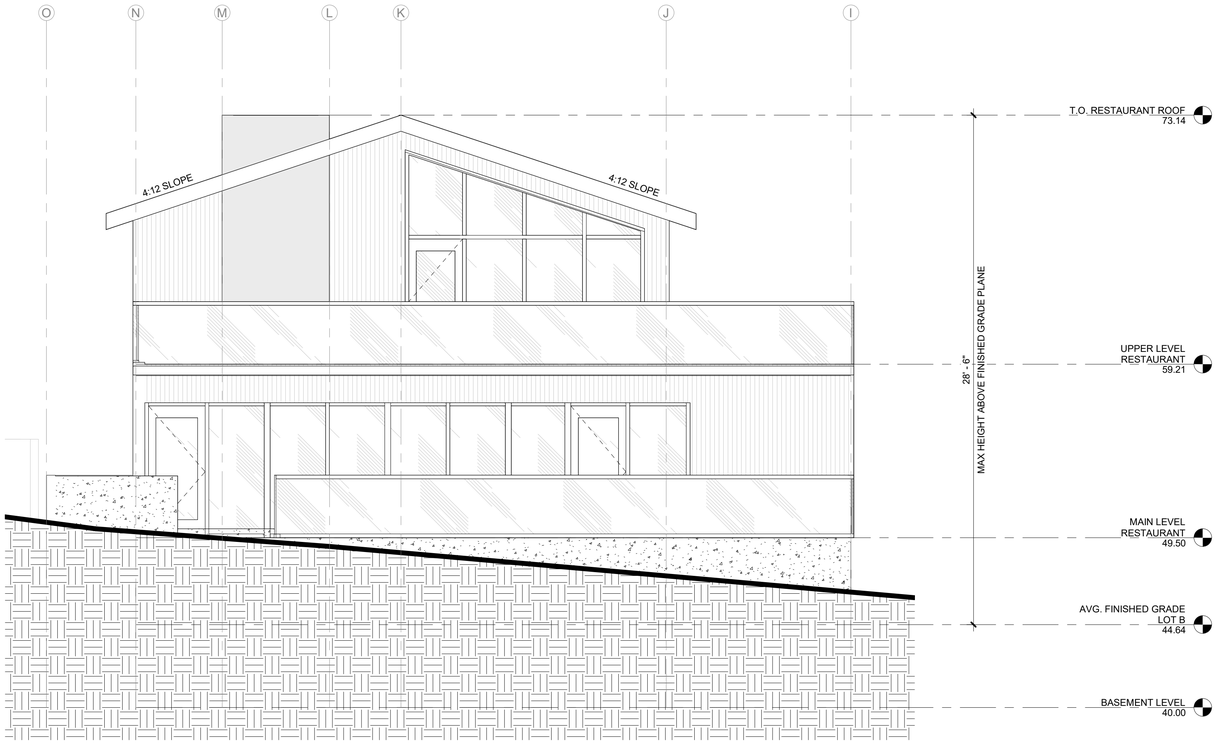
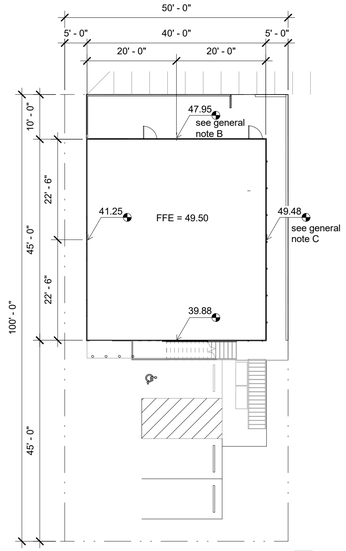


1 LOT B SECTION @ SIDEWALK
1/4" = 1'-0"



2 OT A - FIINISH GRADE PLANE
1/16" = 1'-0"

NORTH

GENERAL NOTES AVG. FINISHED GRADE

A. GRADES REFERENCED FROM C3.0 GRADING PLAN.
B. GRADE ELEVATION TAKEN FROM SIDEWALK ADJACENT TO MID-POINT OF BUILDING PER DEFINITION OF **AVERAGE FINISHED GRADE** IN MANZANITA ZONING CODE
C. FILL REQUIRED TO BRING EGRESS COURT TO STREET GRADE. SEE SECTION **4.138 FILLING OF LOTS** OF THE MANZANITA CODE

AVG. FINISHED GRADE CALCULATION

PER CITY OF MANZANITA ZONING CODE, THE AVERAGE FINISHED GROUND OR SIDEWALK ADJACENT TO THE MID-POINTS OF ALL EXTERIOR WALLS OF THE BUILDING WALL.

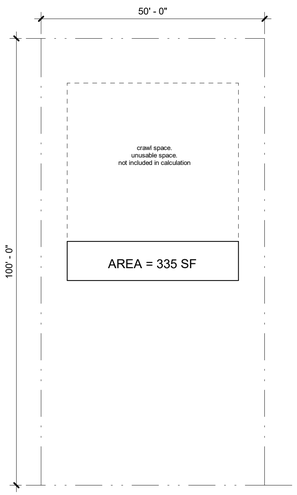
47.95 + 41.25 + 39.88 + 49.48 = 178.56 / 4 = **44.64**

BASEMENT CALCULATION

REFER TO OSSC 2019 CHAPTER 2 DEFINITION OF "STORY ABOVE GRADE PLANE"

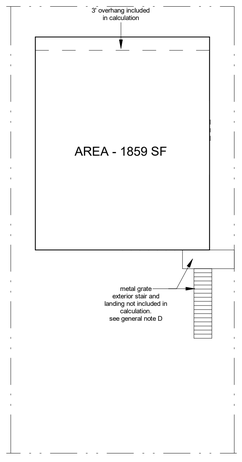
ELEVATION OF LEVEL IN QUESTION (BASEMENT):	40.00	
ELEVATION OF LEVEL ABOVE:	49.50	
AVERAGE FINISH GRADE:	44.64	
IS THE FLOOR SURFACE OF THE STORY IN QUESTION (BASEMENT) LOCATED ENTIRELY ABOVE THE FINISH GRADE ELEVATION?	**NO**	**44.64 > 40**
IS THE FLOOR SURFACE OF THE FLOOR ABOVE THE STORY IN QUESTION (BASEMENT) LOCATED MORE THAN 6 FEET ABOVE THE FINISHED GRADE ELEVATION?	**NO**	**49.5 - 44.64 < 6**
IS THE FLOOR SURFACE OF THE FLOOR ABOVE THE STORY IN QUESTION (BASEMENT) LOCATEDMORE THAN 12 FEET ABOVE ANY OF THE GRADE MEASUREMENTS AT ANY POINT ALONG THE BUILDING EXTERIOR WALLS?	**NO**	**49.5 - 39.88 < 12**

THE LEVEL IN QUESTION (BASEMENT) IS NOT A STORY ABOVE FINISHED GRADE



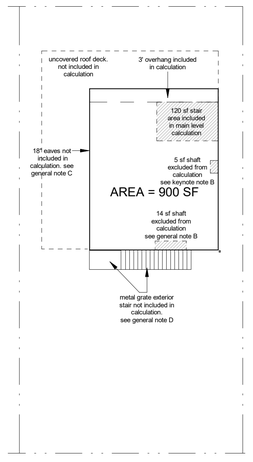
3 LOT B LOWER LEVEL FAR
1/16" = 1'-0"

NORTH



4 LOT B MAIN LEVEL FAR
1/16" = 1'-0"

NORTH



5 LOT B UPPER LEVEL FAR
1/16" = 1'-0"

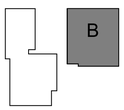
NORTH

GENERAL NOTES FAR

A. FLOOR AREA MEASURED WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING PER DEFINITION OF **FLOOR AREA, GROSS** IN MANZANITA ZONING CODE.
B. GROSS FLOOR AREA SHALL NOT INCLUDE SHAFTS WITH NO OPENINGS PER DEFINITION OF **FLOOR AREA, GROSS** IN MANZANITA ZONING CODE.
C. 18" BUILDINGS EAVES ARE BEST PRACTICE MEANS OF PROTECTING THE BUILDING FROM NATURAL ELEMENTS AND ARE NOT INCLUDED IN CALCULATION SINCE THEY ARE NOT USABLE AREA. EAVES ALLOWED TO PROJECT INTO REQUIRED YARD MAX 18" PER SECTION 6.040.
D. METAL GRATE STAIRS NOT COUNTED TOWARDS FAR CALCULATION AS THEY DON'T CREATE USUABLE AREA DUE TO BEING EXPOSED TO NATURAL ELEMENTS

LOT B FAR CALCULATION

TOTAL LOT SIZE:	5,000 SF	
FAR ALLOWANCE:	.65 (3,250 SF ALLOWANCE)	
FAR CALCULATION:	LOWER LEVEL	335 SF
	MAIN LEVEL	1,859 SF
	UPPER LEVEL	900 SF
	TOTAL:	**3,094 SF**
FAR:	**.618**	



KEY PLAN

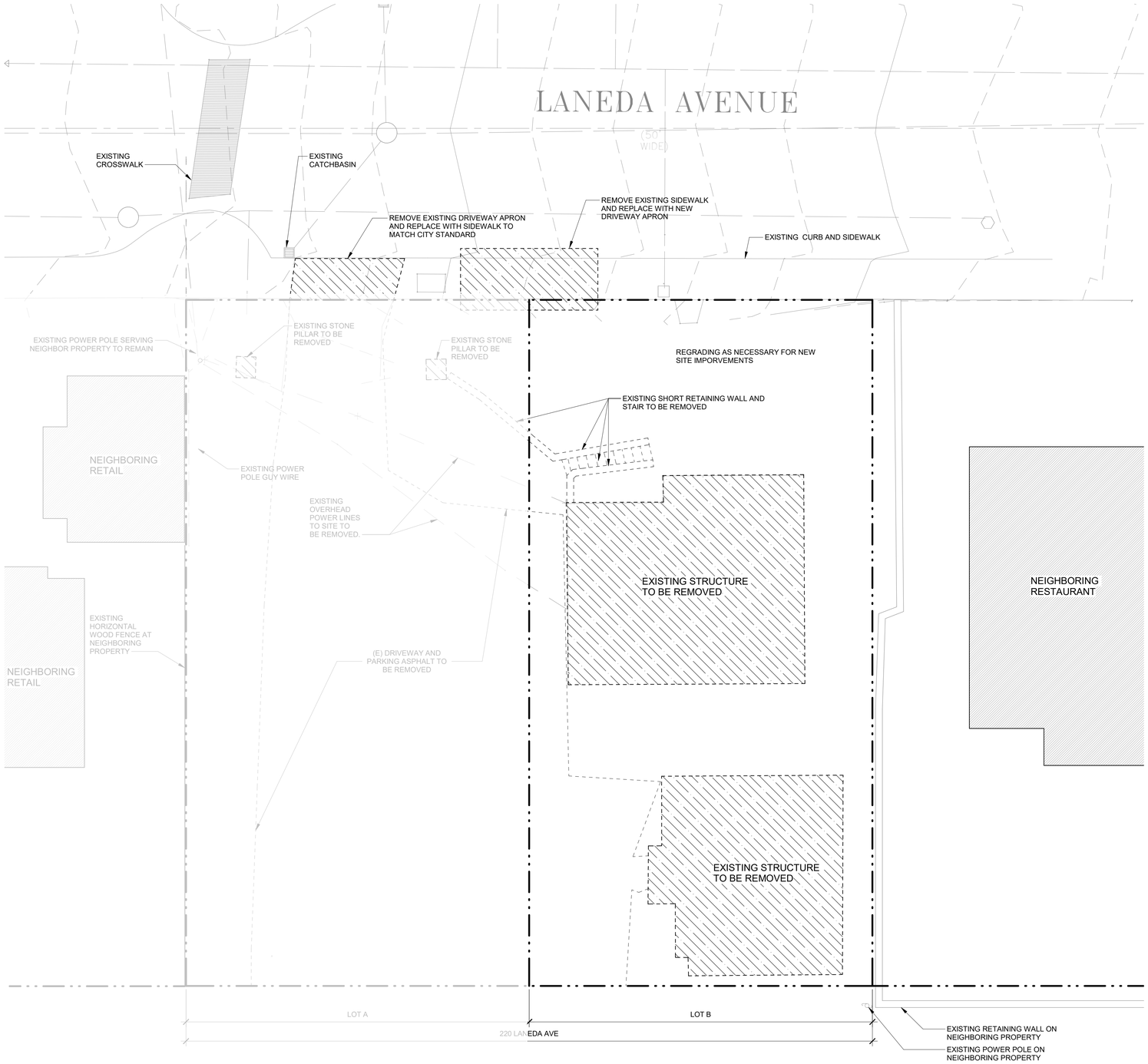
Issue **Date**

Drawing:

ZONING AND HEIGHT ANALYSIS

Sheet No:

G1.00B



1 EXISTING CONDITIONS

1/8" = 1'-0"

NORTH

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Job Number: 21119

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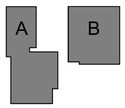


KEY PLAN

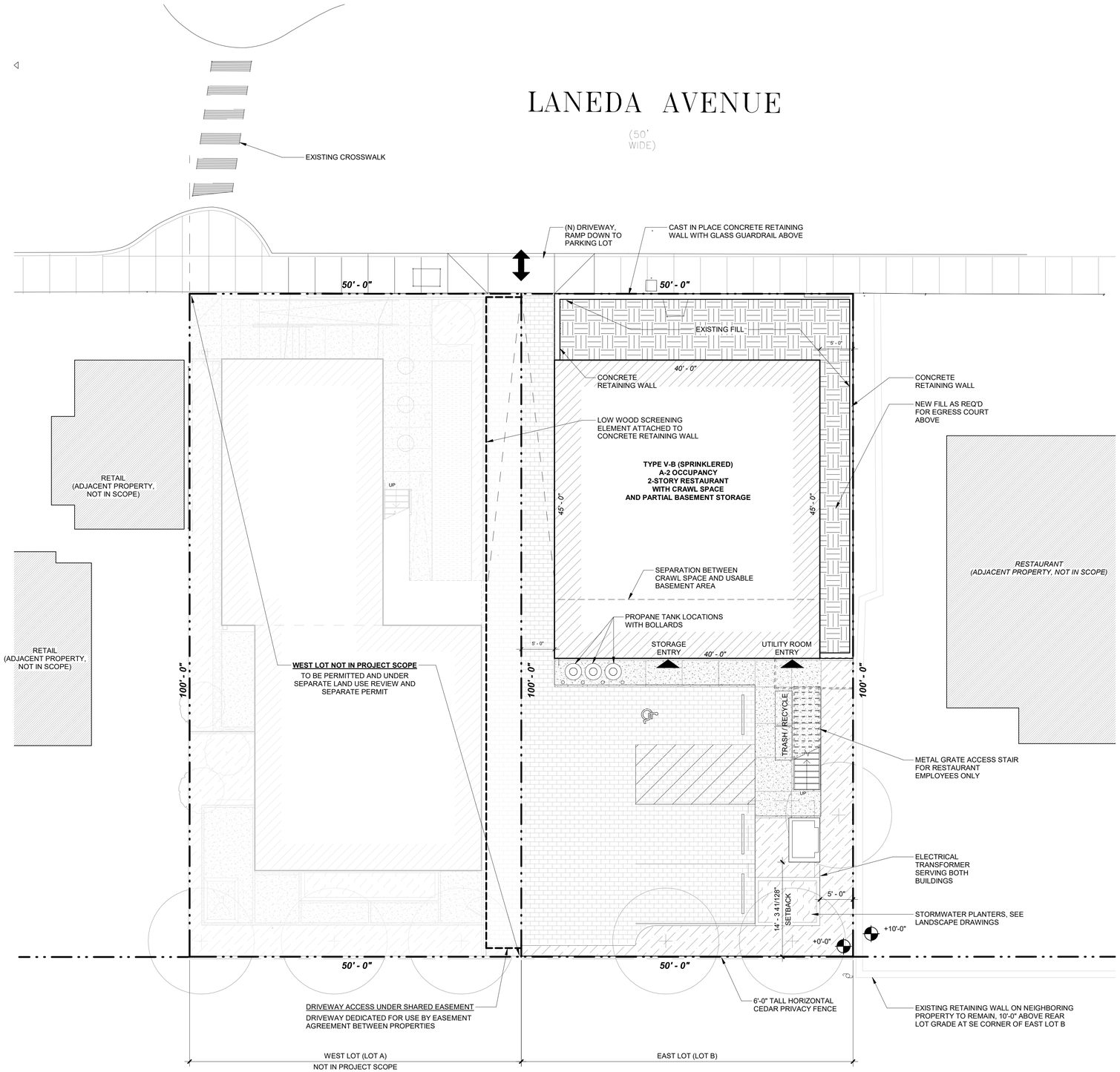
Issue **Date**

Drawing:

EXISTING CONDITIONS

Sheet No:

AD.01B



1 DESIGN REVIEW SITE PLAN - LOWER LEVEL

1/8" = 1'-0"

NORTH

GENERAL SHEET NOTES

A. SEE LANDSCAPE PLANS FOR SITE FINISHES, TABULATED LANDSCAPE AREAS AND PLANTING LOCATIONS.

LEGEND

- PROPERTY LINE
- EXISTING BUILDINGS
- EARTH FILL
- LANDSCAPE AREA
- PERMEABLE PAVERS

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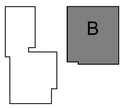
Drawing:

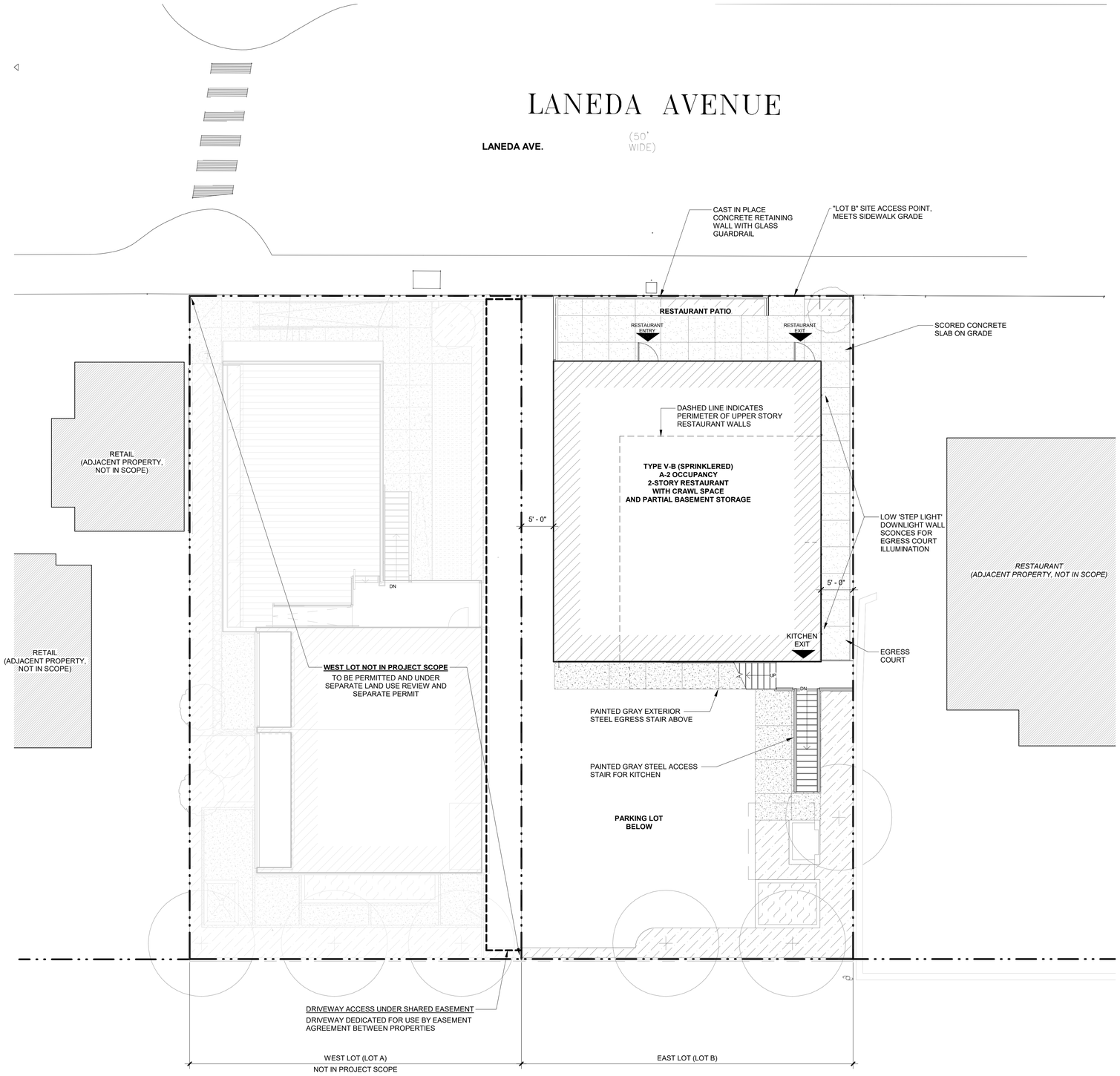
SITE PLAN- LOWER LEVEL



KEY PLAN

Sheet No:

A1.00B



1 DESIGN REVIEW SITE PLAN - MAIN LEVEL

1/8" = 1'-0"

GENERAL SHEET NOTES

A. SEE LANDSCAPE PLANS FOR SITE FINISHES, TABULATED LANDSCAPE AREAS AND PLANTING LOCATIONS.

LEGEND

- PROPERTY LINE
- EXISTING BUILDINGS
- EARTH FILL
- LANDSCAPE AREA
- PERMEABLE PAVERS

MINIMUM PARKING STALL REQUIREMENTS **(PER MZO #95-4 4.090 OFF-STREET PARKING REQUIREMENTS)**

RESTAURANT, AS DEFINED BY MZO #95-4 4.090(2)
"Development of no more than two (2) retail, restaurant or office spaces on lots of 5,000 square feet or less in the C-1 or L-C zones will require no parking spaces in excess of that required by the Americans with Disabilities Act [ADA] or required by Section 4.090(3)(b) below.

(1) RESTAURANT, LOT LESS THAN 5,000 SQ FT = 0 PARKING SPACES REQUIRED
TOTAL: = **0 REQUIRED**

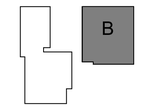
AMERICANS WITH DISABILITIES ACT [ADA] **ACCESSIBLE PARKING REQUIREMENTS**
REQUIRES 1 STALL OF PROVIDED PARKING LOT TO BE ACCESSIBLE WHEN 1-25 STALLS ARE PROVIDED.

FUNCTION	QTY OF STALLS PROVIDED	NO. OF PROVIDED STALLS REQUIRED TO BE ACCESSIBLE
RESTAURANT*	0*	0* = 0 ACCESSIBLE*
TOTAL	0	0 = 0 ACCESSIBLE

*NOTE: NO PARKING IS REQUIRED FOR RESTAURANT FUNCTION, AND NO PARKING IS PROVIDED FOR RESTAURANT.

SIGNAGE WILL BE PROVIDED FOR PARKING SPACES NOTING THAT PARKING IS FOR HOTEL GUESTS OF ADJACENT PROPERTY ONLY.

NORTH



KEY PLAN

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Job Number: **21119**

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MANZANITA, OR, 97130

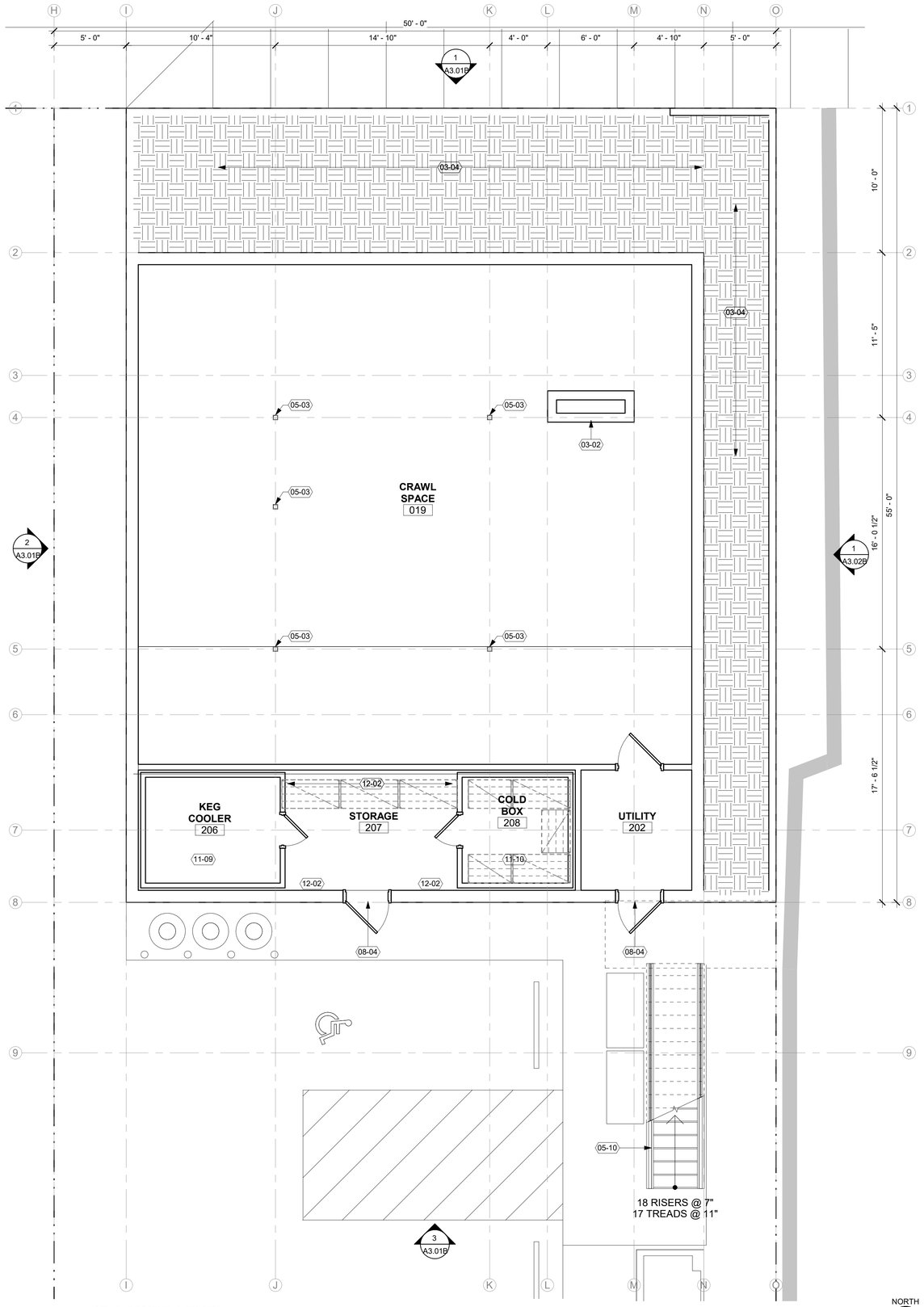
Issue **Date**

Drawing:

SITE PLAN - MAIN LEVEL

Sheet No:

A1.01B



1 **1B LOWER LEVEL**
1/4" = 1'-0"

NORTH

GENERAL SHEET NOTES

A. ALL INTERIOR WALLS TO BE TYPE IW-01, UNLESS NOTED OTHERWISE.

B. ALL GRIDS TO F.O. CONCRETE STEM WALL, F.O STUD AND CENTERLINE OF COLUMN.

KEYNOTES (07-02)

03-02	CONCRETE FOUNDATION WALLS FOR FIREPLACE
03-04	CONCRETE WALKWAYS ABOVE
05-03	STEEL POST. SEE STRUCTURAL
05-10	STEEL STRINGER STAIR WITH METAL GRATE TREADS AND LANDINGS, STEEL CABLE GUARDRAIL AND STEEL HANDRAIL
08-04	3'-0" x 7'-0" PAINTED HM DOOR
11-09	6'-0" x 8'-0" x 8'-0" WALK IN COOLER
11-10	8'-0" x 8'-0"x 8'-0" WALK IN COOLER
12-02	STORAGE SHELVING BY OWNERS

LEGEND

- EXISTING
- NEW CONSTRUCTION
- 1 HOUR RATED ASSEMBLY
- EW-01 ASSEMBLY TAG

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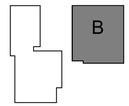
Issue	Date

Drawing:

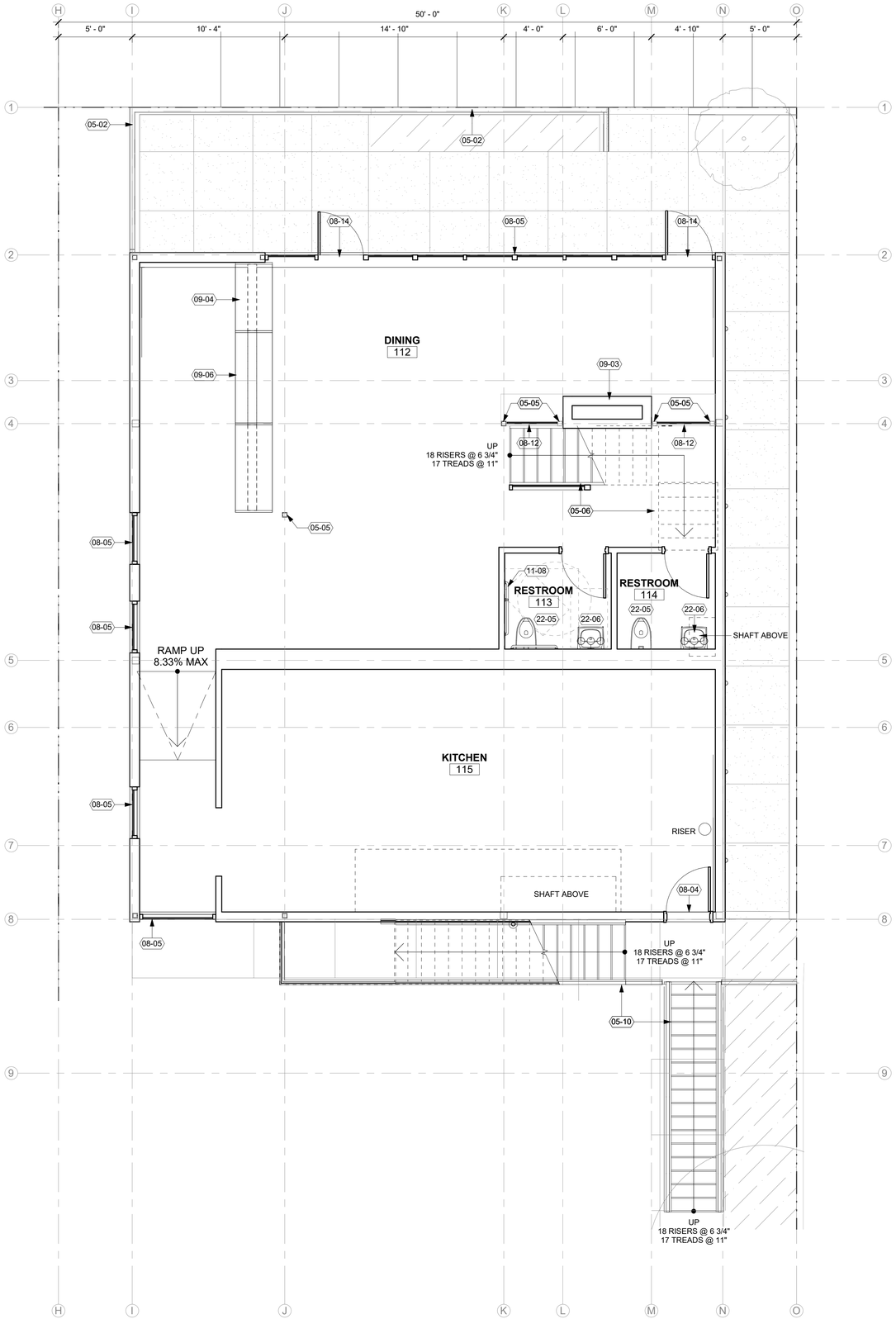
LOWER LEVEL PLAN



KEY PLAN

Sheet No:

A2.10B



1 **LOT B - MAIN LEVEL**
1/4" = 1'-0"

NORTH

GENERAL SHEET NOTES

A. ALL INTERIOR WALLS TO BE TYPE IW-01, UNLESS NOTED OTHERWISE.

B. ALL GRIDS TO F.O. CONCRETE STEM WALL, F.O STUD AND CENTERLINE OF COLUMN.

KEYNOTES 07-02

05-02	42" GLASS GUARDRAIL SYSTEM. ALUMINUM RAIL
05-05	PAINTED STEEL POST. SEE STRUCTURAL
05-06	STEEL STRINGER, GLASS GUARDRAILS, STEEL HANDRAILS, WOOD TREADS & WOOD LANDING
05-10	STEEL STRINGER STAIR WITH METAL GRATE TREADS AND LANDINGS, STEEL CABLE GUARDRAIL AND STEEL HANDRAIL
08-04	3'-0" x 7'-0" PAINTED HM DOOR
08-05	ALUMINUM STOREFRONT SYSTEM
08-12	3'-4"x 5'-10" CUSTOM STAINED GLASS PANEL
08-14	3'-0"x7'-8" ALUMINUM STOREFRONT DOOR
09-03	FIREPLACE. FACED WITH LARGE FORMAT TILE. ALL SIDES TYP.
09-04	48" HIGH BAR. SOLID SURFACE BAR TOP. FACED WITH TILE.
09-06	36" HIGH BAR ACCESSIBLE SECTION. SOLID SURFACE BAR TOP. FACED WITH TILE.
11-08	GRAB BARS
22-05	FLOOR MOUNTED FLUSHOMETER TYPE TOILET
22-06	WALL MOUNTED LAVATORY

LEGEND

- EXISTING
- NEW CONSTRUCTION
- 1 HOUR RATED ASSEMBLY
- EW-01 ASSEMBLY TAG

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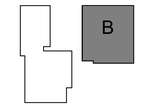


KEY PLAN

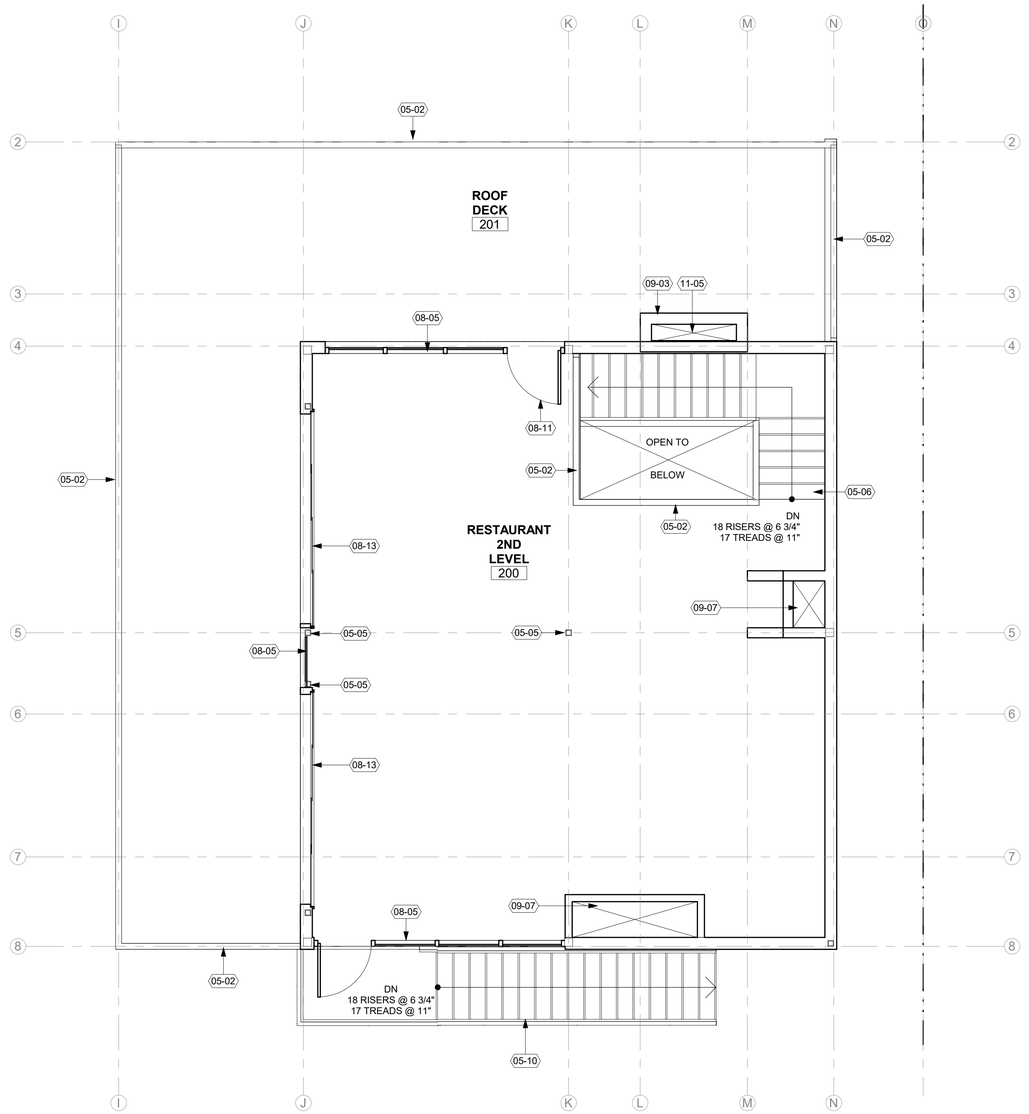
Issue **Date**

Drawing:

MAIN LEVEL PLAN

Sheet No:

A2.11B



1 LOT B - UPPER LEVEL

1/4" = 1'-0"

NORTH

GENERAL SHEET NOTES

A. ALL INTERIOR WALLS TO BE TYPE IW-01, UNLESS NOTED OTHERWISE.

B. ALL GRIDS TO F.O. CONCRETE STEM WALL, F.O STUD AND CENTERLINE OF COLUMN.

KEYNOTES 07-02

05-02	42" GLASS GUARDRAIL SYSTEM. ALUMINUM RAIL
05-05	PAINTED STEEL POST. SEE STRUCTURAL
05-06	STEEL STRINGER, GLASS GUARDRAILS, STEEL HANDRAILS, WOOD TREADS & WOOD LANDING
05-10	STEEL STRINGER STAIR WITH METAL GRATE TREADS AND LANDINGS, STEEL CABLE GUARDRAIL AND STEEL HANDRAIL
08-05	ALUMINUM STOREFRONT SYSTEM
08-11	3'-0"x7'-0" ALUMINUM STOREFRONT FULL LITE DOOR
08-13	7'-0"x12'-0" FOLDING ALUMINUM DOOR (4 PANELS)
09-03	FIREPLACE. FACED WITH LARGE FORMAT TILE. ALL SIDES TYP.
09-07	1 HR RATED SHAFT
11-05	PROPANE FIREPLACE

LEGEND

EXISTING

NEW CONSTRUCTION

1 HOUR RATED ASSEMBLY

EW-01 ASSEMBLY TAG

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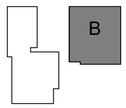


KEY PLAN

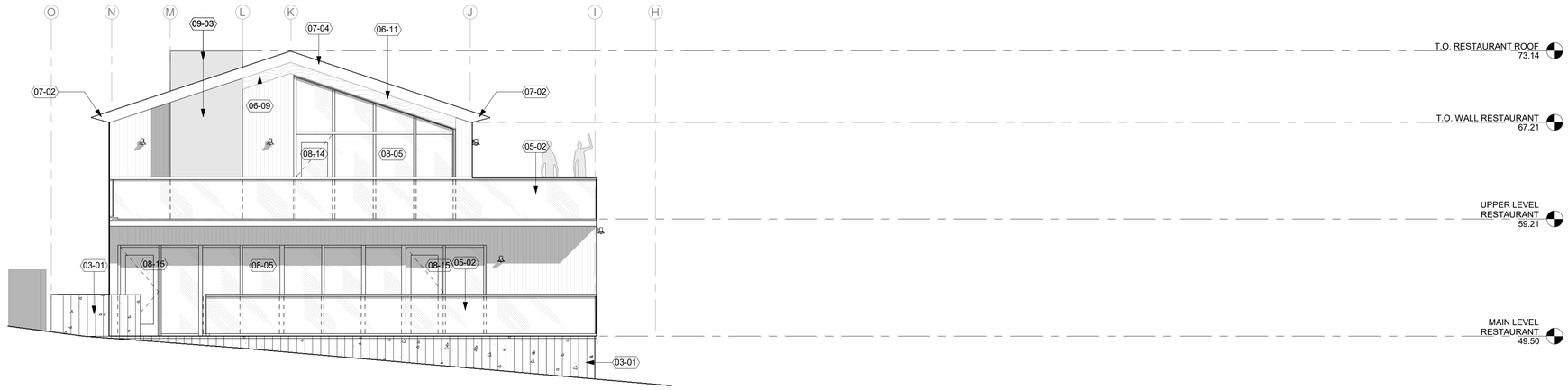
Issue **Date**

Drawing:

UPPER LEVEL PLAN

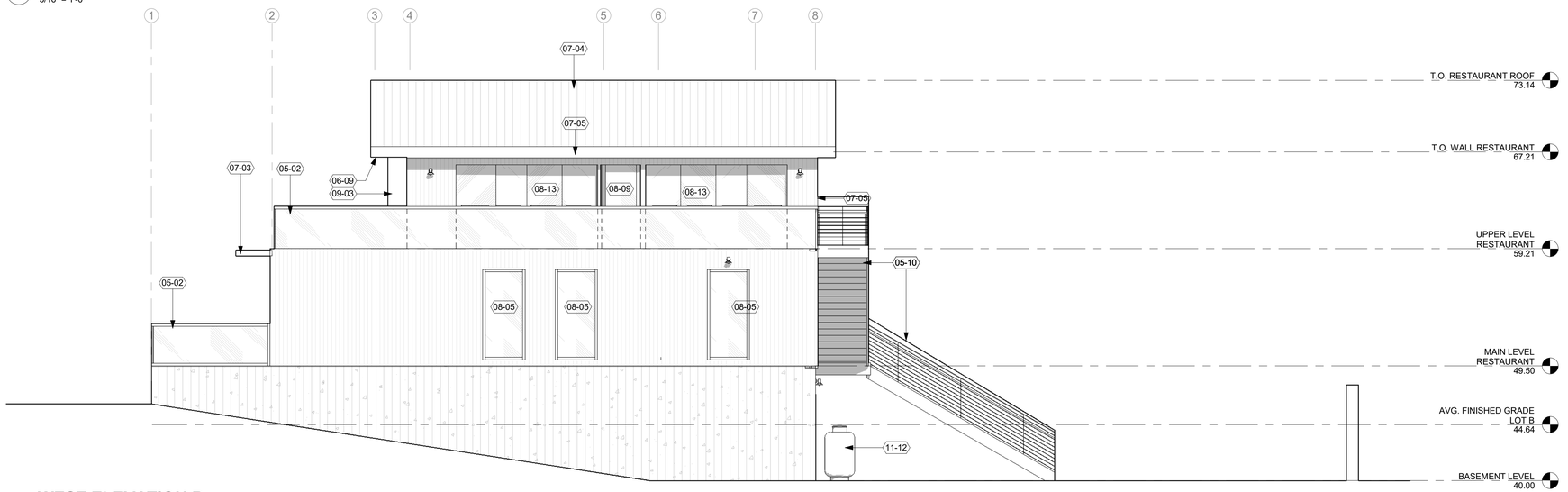
Sheet No:

A2.12B



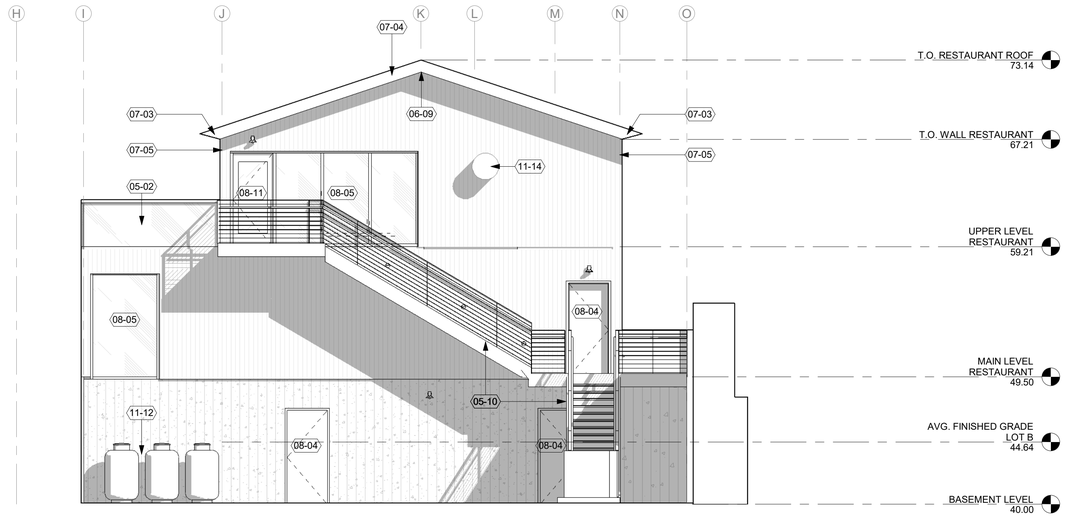
1 NORTH ELEVATION B

3/16" = 1'-0"



2 WEST ELEVATION B

3/16" = 1'-0"



3 SOUTH ELEVATION B

3/16" = 1'-0"

KEYNOTES 07-02

03-01	CONCRETE SITE WALL. BOARDFORM
05-02	42" GLASS GUARDRAIL SYSTEM. ALUMINUM RAIL
05-10	STEEL STRINGER STAIR WITH METAL GRATE TREADS AND LANDINGS, STEEL CABLE GUARDRAIL AND STEEL HANDRAIL
06-09	EXPOSED CLT CANTILEVER WITH EXTERIOR GRADE FINISH
06-11	EXPOSED GLULAM BEAM WITH EXTERIOR GRADE FINISH
07-02	SHEET METAL GUTTER
07-03	SHEET METAL CANOPY.
07-04	STANDING SEAM ROOF.
07-05	SHEET METAL DOWNSPOUT
08-04	3'-0" x 7'-0" PAINTED HM DOOR
08-05	ALUMINUM STOREFRONT SYSTEM
08-09	STAINED GLASS PANEL
08-11	3'-0"x7'-0" ALUMINUM STOREFRONT FULL LITE DOOR
08-13	7'-0"x12'-0" FOLDING ALUMINUM DOOR (4 PANELS)
08-14	3'-0"x7'-8" ALUMINUM STOREFRONT DOOR
08-15	3'-0"x7'-2" ALUMINUM STOREFRONT DOOR
09-03	FIREPLACE. FACED WITH LARGE FORMAT TILE. ALL SIDES TYP.
11-12	PROPANE TANKS
11-14	SIDEWALL HOOD EXHAUST LOCATION

LEGEND

- 1x6 VERTICAL T&G RED CEDAR WOOD SIDING
- CAST-IN PLACE BOARDFORM CONCRETE NATURAL FINISH
- STONE TILE
- STOREFRONT BLACK ANODIZED ALUMINUM

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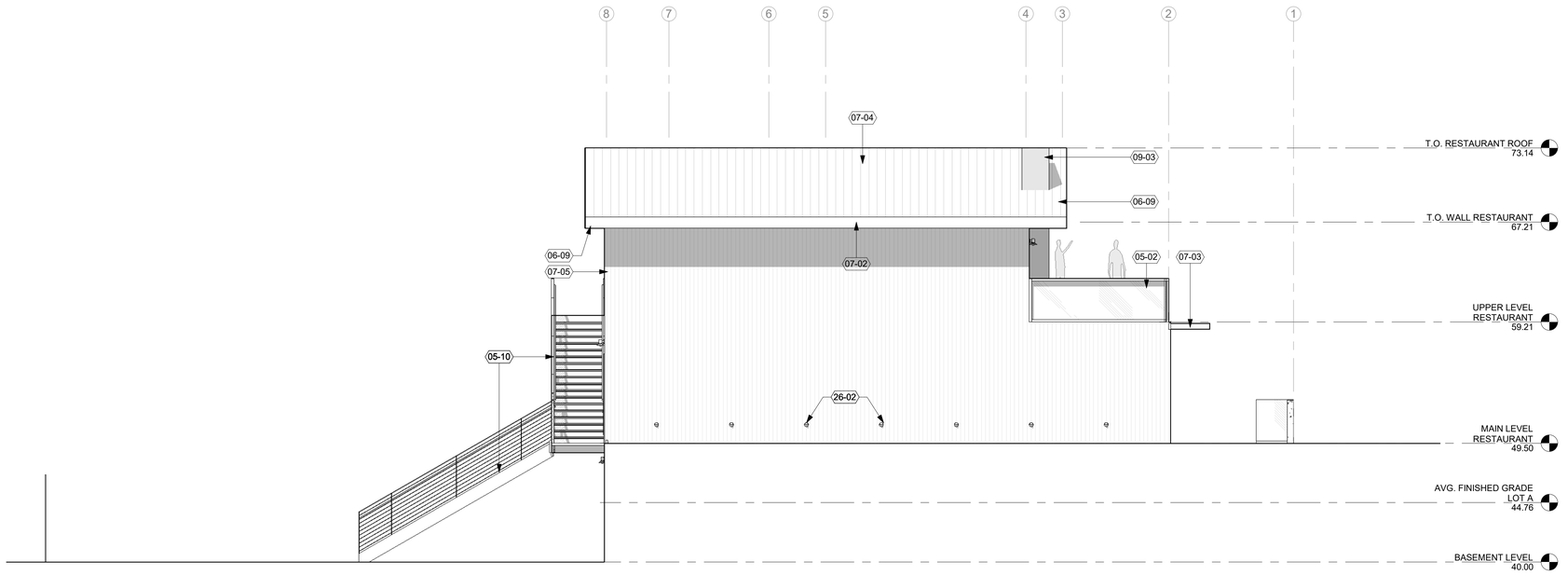
Issue **Date**

Drawing:

EXTERIOR ELEVATIONS

Sheet No:

A3.01B



1 EAST ELEVATION B

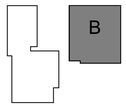
3/16" = 1'-0"

KEYNOTES 07-02

05-02	42" GLASS GUARDRAIL SYSTEM. ALUMINUM RAIL
05-10	STEEL STRINGER STAIR WITH METAL GRATE TREADS AND LANDINGS. STEEL CABLE GUARDRAIL AND STEEL HANDRAIL
06-09	EXPOSED CLT CANTILEVER WITH EXTERIOR GRADE FINISH
07-02	SHEET METAL GUTTER
07-03	SHEET METAL CANOPY.
07-04	STANDING SEAM ROOF.
07-05	SHEET METAL DOWNSPOUT
09-03	FIREPLACE. FACED WITH LARGE FORMAT TILE. ALL SIDES TYP.
26-02	STEP LIGHTS TYP.

LEGEND

- 1x6 VERTICAL T&G RED CEDAR WOOD SIDING
- CAST-IN PLACE BOARDFORM CONCRETE NATURAL FINISH
- STONE TILE
- STOREFRONT BLACK ANODIZED ALUMINUM



KEY PLAN

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Issue	Date

Drawing:

EXTERIOR ELEVATIONS

Sheet No:

A3.02B