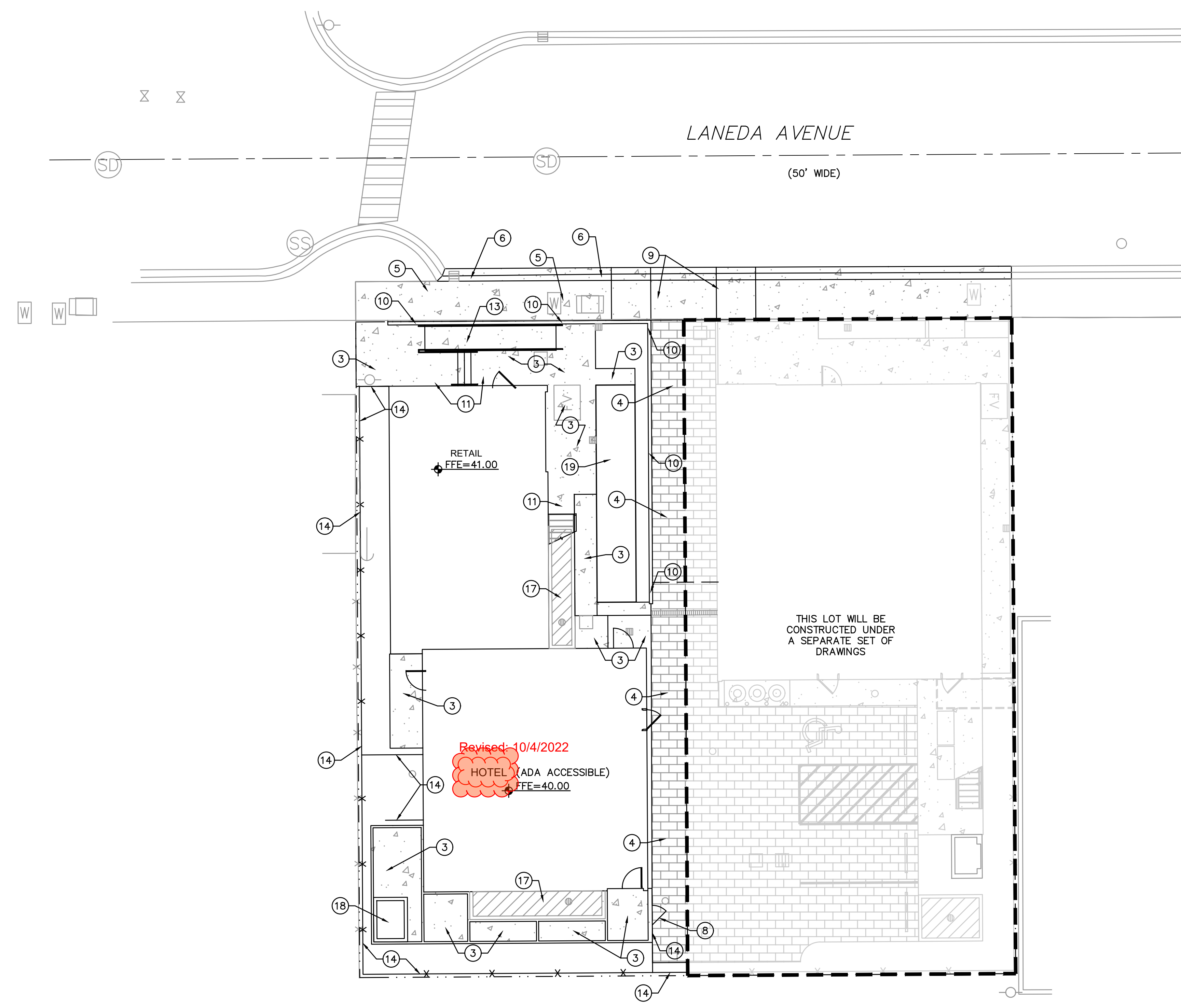


FILE: O:\0320-PORTLAND\DCI-CIVIL\2021\21032-0039 STEEPLEJACK MANZANITA\0-DRAWINGS\SHEETS\21032-0039\_LAYOUT-PLAN-WEST  
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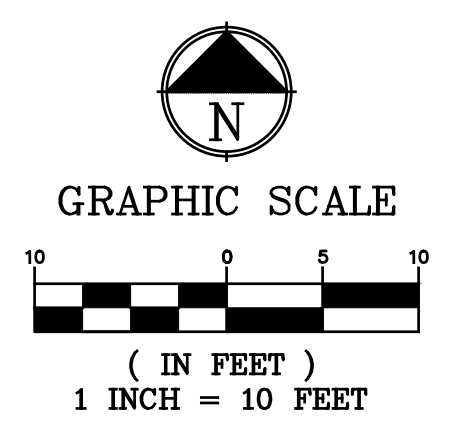


**GENERAL SITE LAYOUT NOTES:**

1. PAVEMENT REMOVAL AND PATCHING FOR UTILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY OF MANZANITA PUBLIC WORKS DEPARTMENT AND ODOT DRAWINGS.
2. TRAFFIC CONTROL FOR THE SITE SHALL FOLLOW THE PROVISIONS IN THE MOST CURRENT VERSION OF THE MUTCD.
3. REFER TO LANDSCAPING PLANS FOR LANDSCAPE REQUIREMENTS AND FIRE GRADING NOT SHOWN ON THE CIVIL SHEETS.
4. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 1.5% MAXIMUM, TOWARDS THE PARKING FIELD.

**(X) SITE LAYOUT KEYNOTES:**

1. NOT USED.
2. NOT USED.
3. CONSTRUCT NEW CONCRETE AREA PER DETAIL 2/C2.10A. COORDINATE LAYOUT AND SURROUNDING AREAS WITH LANDSCAPE PLANS.
4. CONSTRUCT NEW PERVIOUS PAVER AREA PER DETAIL 4/C2.10A.
5. CONSTRUCT NEW CONCRETE SIDEWALK WITHIN PUBLIC RIGHT-OF-WAY PER DETAIL 2/C2.10A.
6. CONSTRUCT NEW CONCRETE ROLLED CURB AND GUTTER PER CITY OF MANZANITA PUBLIC WORKS STANDARDS.
7. NOT USED.
8. INSTALL NEW FENCE GATE PER ARCHITECTURAL DETAILS.
9. CONSTRUCT NEW CONCRETE DRIVEWAY PER CITY OF MANZANITA PUBLIC WORKS STANDARDS. CONSTRUCT WITH #4 REBAR @ 18" O.C., EACH WAY.
10. CONSTRUCT NEW WALL PER STRUCTURAL AND LANDSCAPE PLANS AND DETAILS.
11. CONSTRUCT LANDING AT BASE OF STAIRS. LANDING SHALL NOT EXCEED 1.8% IN ANY DIRECTION.
12. NOT USED.
13. CONSTRUCT NEW CONCRETE RAMP PER LANDSCAPE DRAWINGS. LONGITUDINAL RAMP SLOPE SHALL NOT EXCEED 8.0%. RAMP SHALL PROVIDE A 3' WIDE ACCESSIBLE ROUTE, MEASURED WITHIN THE HANDRAILS. HANDRAILS SHALL BE SIZED AND MOUNTED PER ARCHITECTURAL DRAWINGS. HANDRAIL STYLE AND COLOR SHALL BE PER ARCHITECTURAL DRAWINGS.
14. CONSTRUCT NEW FENCE PER ARCHITECTURAL DETAILS.
15. NOT USED.
16. NOT USED.
17. CONSTRUCT STORMWATER PLANTER WALL. SEE STORMWATER PLAN AND DETAILS FOR FURTHER INFORMATION.
18. INSTALL UNDERGROUND SPA PER LANDSCAPING DRAWINGS.
19. CONSTRUCT BOCCIE BALL COURT PER LANDSCAPE DRAWINGS.
20. INSTALL TRANSFORMER PER ELECTRICAL PLANS.



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**SITE LAYOUT PLAN - WEST**

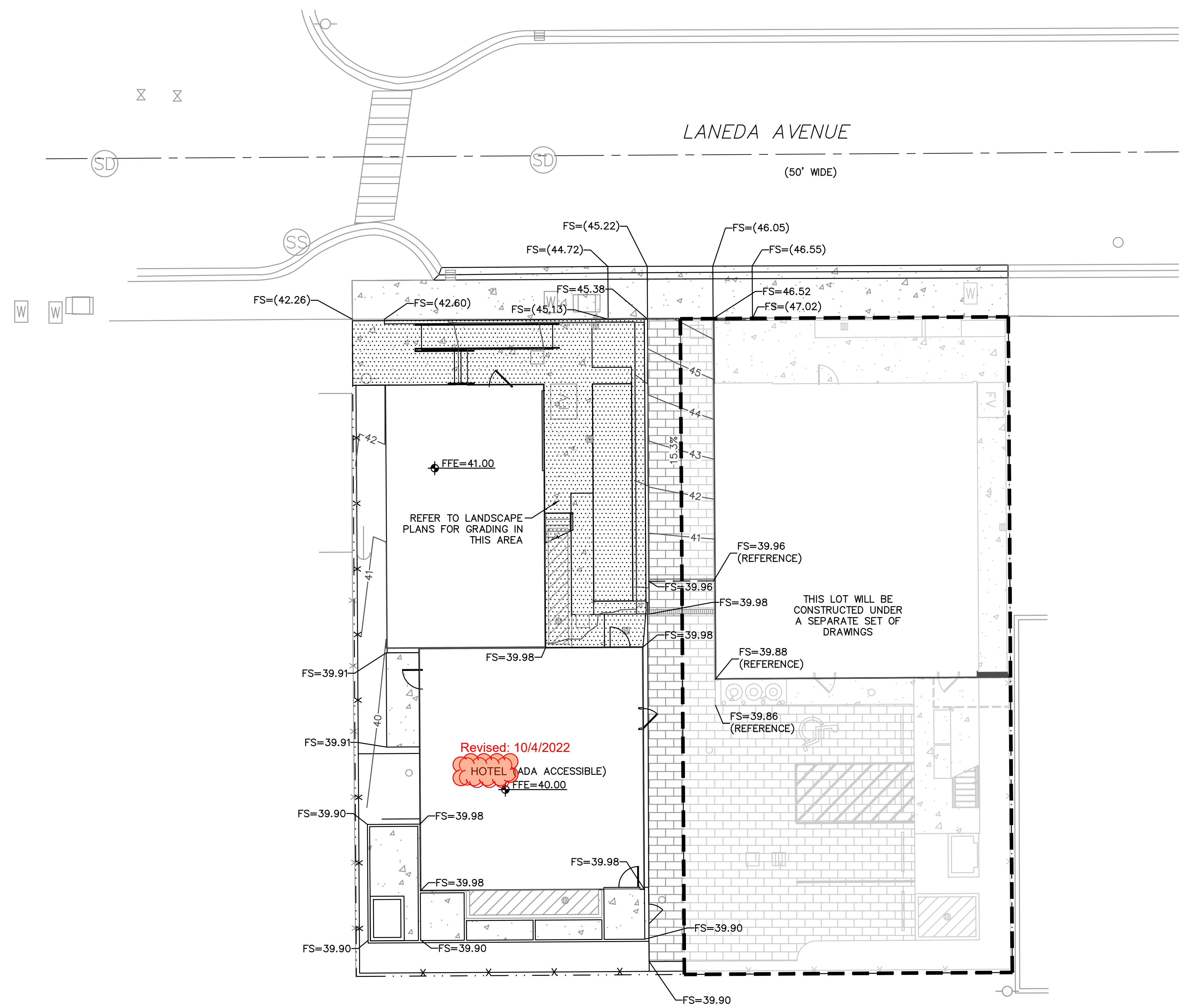
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**STEEPLEJACK  
MANZANITA**

Job Number: 21032-0039  
220 LANEDA AVE  
MANZANITA, OR, 97130

FILE: O:\0320-PORTLAND\DCI-CIVIL\2021\21032-0039 STEEPLJACK MANZANITA\DRAWINGS\SHEETS\21032-0039\_GRAD-PLAN-WEST  
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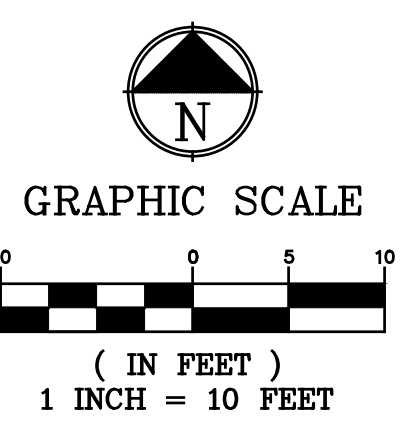


**GENERAL SITE LAYOUT NOTES:**

1. PAVEMENT REMOVAL AND PATCHING FOR UTILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY OF MANZANITA PUBLIC WORKS DEPARTMENT AND ODOT DRAWINGS.
2. TRAFFIC CONTROL FOR THE SITE SHALL FOLLOW THE PROVISIONS IN THE MOST CURRENT VERSION OF THE MUTCD.
3. REFER TO LANDSCAPING PLANS FOR LANDSCAPE REQUIREMENTS AND FIRE GRADING NOT SHOWN ON THE CIVIL SHEETS.
4. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 1.5% MAXIMUM, TOWARDS THE PARKING FIELD.

**HATCH LEGEND:**

- REFER TO LANDSCAPE PLANS FOR GRADING IN THIS AREA
- PORTLAND CEMENT CONCRETE
- PERMEABLE PAVERS. REFERENCE LANDSCAPE PLANS AND SPECIFICATIONS FOR MATERIALS.



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Drawing:  
**GRADING PLAN -  
WEST**

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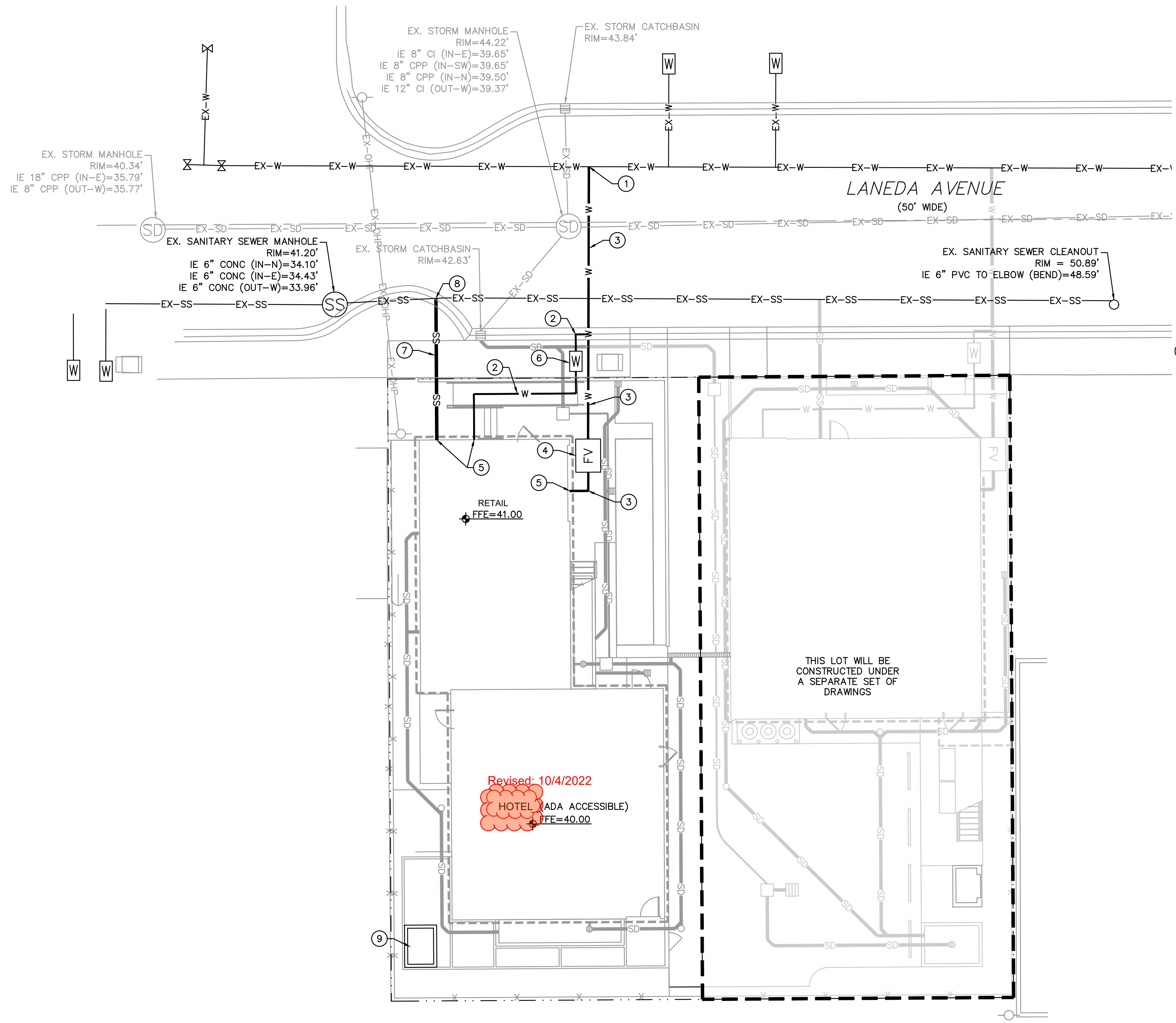


**STEEPLEJACK  
MANZANITA**

Job Number: 21032-0039  
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MANZANITA, OR, 97130

FILE: O:\0320-PORTLAND\DCI-CIVIL\2021\12\1032-0039 STEEPLEJACK MANZANITA\0-DRAWINGS\SHEETS\21032-0039 UTIL-PLAN-WEST  
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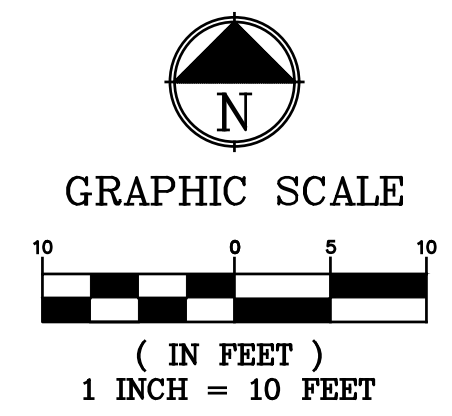


**GENERAL UTILITY NOTES:**

1. ALL PLUMBING ON PUBLIC AND PRIVATE PROPERTY SHALL BE REVIEWED AND INSPECTED BY CITY OF MANZANITA BUILDING DIVISION
2. COORDINATE EXISTING UTILITY REMOVALS AND RECONNECTIONS WITHIN RIGHT-OF-WAY WITH RELEVANT UTILITY STANDARDS AND INSPECTORS.
3. COORDINATE LIGHT FIXTURES AND LOCATIONS WITH ELECTRICAL SITE DRAWINGS.
4. ALL SANITARY SEWER PIPES DESIGNED WITH GRADES LESS THAN 2% SHALL HAVE INVERT ELEVATIONS VERIFIED PRIOR TO BACKFILLING.
5. PAVEMENT CUTTING, PATCHING, AND BACKFILLING RELATED TO UTILITY TRENCHING WITHIN THE PAVED AREAS SHALL BE PER DETAIL 3/C4.10A.
6. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION.

**UTILITY KEYNOTES:**

1. TAP NEW 3" WATER SERVICE LINE TO EXISTING 10" LINE IN STREET PER CITY OF MANZANITA PUBLIC WORKS STANDARDS. SEE DETAIL 4/C4.10A.
2. CONSTRUCT NEW 3" CL-52, DUCTILE IRON WATER LINE.
3. CONSTRUCT NEW 6" CL-52, DUCTILE IRON COMBINATION WATER AND FIRE LINE.
4. CONSTRUCT NEW 6" FIRE SERVICE CONNECTION AND DDCA VAULT PER DETAIL 1/C4.10A. VAULT RIM SHALL BE SET TO MATCH FINISH GRADE.
  - 4.1. PROVIDE SUMP PUMP PER DDCA DETAIL. PROVIDE PIPING TO APPROVED DISCHARGE LOCATION.
  - 4.2. COORDINATE WITH ELECTRICAL CONTRACTOR TO PROVIDE SERVICE TO SUMP PUMP.
  - 4.3. PROVIDE (2) 1/2" DIAMETER CONDUITS FROM FIRE VAULT TO ELECTRICAL ROOM LOCATION.
  - 4.4. PROVIDE TAMPER SWITCH.
5. COORDINATE CONNECTION TO BUILDING WITH PLUMBING AND MECHANICAL DRAWINGS.
6. INSTALL NEW 3" WATER METER PER CITY OF MANZANITA STANDARDS. SEE DETAIL 4/C4.10A.
7. CONSTRUCT NEW 6" SDR35 PVC SANITARY SEWER PIPE. SLOPE SHALL BE 2.00% MIN., UNLESS ELEVATIONS SHOWN OTHERWISE.
8. TAP NEW 6" SANITARY SEWER LINE TO EXISTING " " LINE IN STREET PER CITY OF MANZANITA PUBLIC WORKS STANDARDS. SEE DETAIL 2/C4.10A.
9. UNDERGROUND SPA CONSTRUCTION SHALL BE PER ARCHITECTURAL AND LANDSCAPE DRAWINGS.



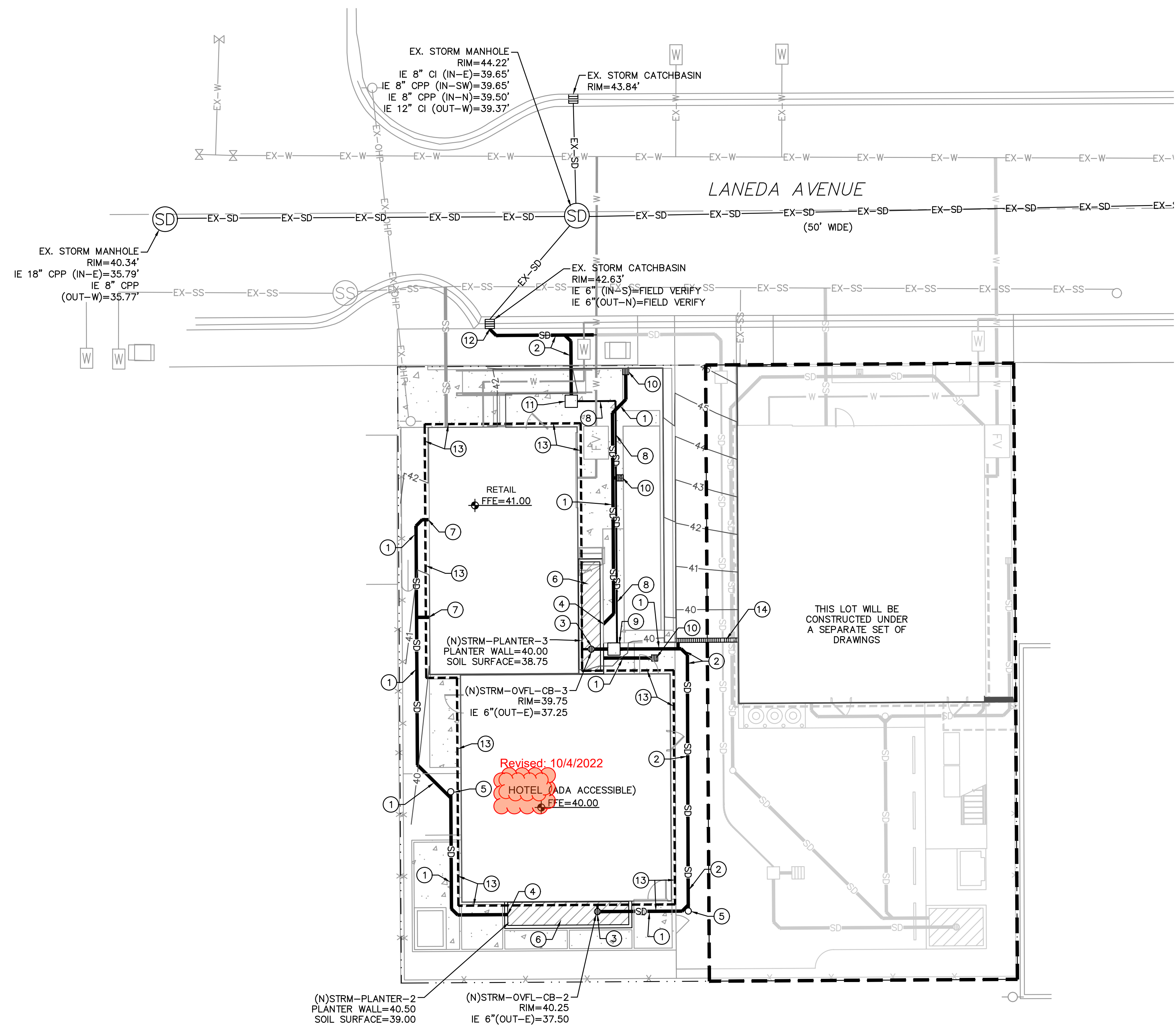
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**UTILITY PLAN - WEST**

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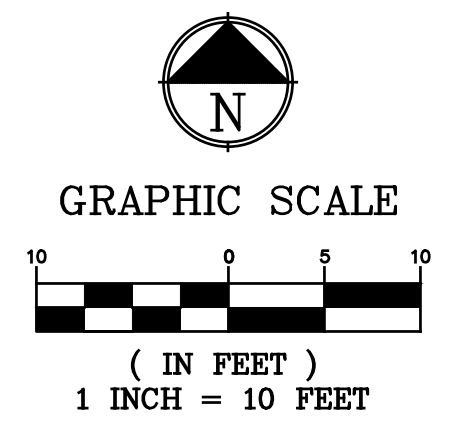


**GENERAL NOTES:**

1. IN PAVEMENT AREAS WHERE COVER OVER STORMWATER LINES IS LESS THAN 24", THE LINE SHALL BE COMPRISED OF PVC C900 PIPING.
2. ROOF CONNECTIONS SHALL BE COORDINATED WITH ARCHITECTURAL ROOF AND PLUMBING DRAWINGS.
3. REFER TO LANDSCAPE PLANS FOR PLANTINGS WITHIN STORMWATER FACILITIES.
4. COORDINATE UTILITY CONSTRUCTION WITH WALL CONSTRUCTION. UTILITY CONSTRUCTION SHALL NOT INTERFERE WITH CONSTRUCTED WALL.
5. UTILITY TRENCHING SHALL BE CONSTRUCTED PER DETAIL 3/C4.10A.
6. REFER TO LANDSCAPE PLANS FOR DITCH RENOVATIONS AND CONSTRUCTION.

**STORMWATER UTILITY KEYNOTES:**

1. CONSTRUCT NEW 6" SDR35 PVC STORM DRAINAGE PIPE. SLOPE AND LENGTH PER PLAN.
2. CONSTRUCT NEW 6" DUCTILE IRON STORM DRAINAGE PIPE. SLOPE AND LENGTH PER PLAN.
3. CONSTRUCT NEW 12" OVERFLOW DRAIN STRUCTURE PER DETAILS 2 AND 4/C5.10A.
4. DAYLIGHT PIPE IN PLANTER WALL. PROVIDE 2' X 2' WIDE AND 6" THICK RIPRAP PAD AT OUTLET.
5. CONSTRUCT NEW CLEANOUT TO GRADE PER DETAIL 1/C5.10A.
6. CONSTRUCT UNLINED STORMWATER PLANTER PER DETAIL 2/C5.10A. AREAS WITHIN INFILTRATION BASINS SHALL BE PROTECTED FROM USE AS CONSTRUCTION STORAGE AREAS AND OVER-COMPACTION BY EQUIPMENT THROUGHOUT THE CONSTRUCTION PERIOD. SEE PLANS FOR DIMENSION DESCRIPTIONS FOR EACH FACILITY.
7. CONNECT TO BUILDING ROOF DRAIN LOCATION. LOCATION OF ALL ROOF DRAINS SHALL BE PER THE ARCHITECTURAL ROOF AND PLUMBING DRAWINGS. COORDINATE INVERT ELEVATIONS WITH STRUCTURAL PLANS TO AVOID FOOTING. SEE DETAIL 3/C5.10A.
8. CONSTRUCT NEW 2" PRESSURIZED STORMWATER LINE. TRENCHING MAY BE SHARED WITH NEW STORMWATER LINES WHERE PROXIMITY ALLOWS.
9. CONSTRUCT NEW STORMWATER PUMP STATION.
10. CONSTRUCT NEW 12" LANDSCAPE AREA DRAIN PER DETAIL 4/C5.10A. COORDINATE FINAL DESIGN WITH LANDSCAPE PLANS.
11. CONSTRUCT NEW STORMWATER DISCHARGE STRUCTURE FROM A PRESSURIZED LINE TO A GRAVITY LINE. STRUCTURE SHALL BE CONSTRUCTED FROM A 24" ROUND REINFORCED CONCRETE PIPE WITH METAL LID.
12. CONNECT NEW 6" STORMWATER LINE TO EXISTING CATCH BASIN USING APPROVED PREMANUFACTURED FITTINGS.
13. CONSTRUCT NEW 4" PERFORATED FOUNDATION DRAIN AROUND BUILDING. SEE DETAIL 5/C5.10A. CONNECT TO ADJACENT ROOF DRAIN STORMWATER LINES THROUGH A BACKFLOW DEVICE (RECTORSEAL "CLEAN CHECK" EXTENDABLE BACKWATER VALVE OR APPROVED EQUAL).
14. CONSTRUCT NEW TRENCH DRAIN. STYLE AND MATERIAL SHALL BE PER ARCHITECTURAL AND LANDSCAPE DESIGN.



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- WEST**

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**STEEPLEJACK MANZANITA**

Job Number: 21032-0039

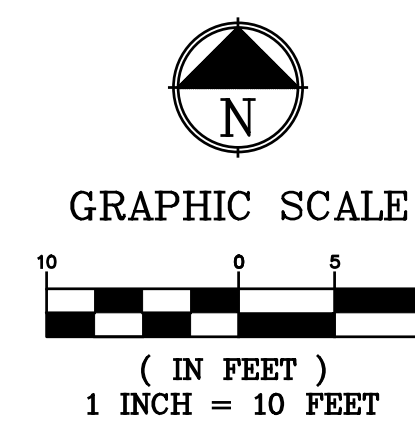
220 LANEDA AVENUE  
MANZANITA, OR, 97130

**GRADING, STREET, AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:**

- SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COORDINATED WITH LANDSCAPING PLANS.
- SLOPES TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES AND RE-ESTABLISHMENT OF DISTURBED SLOPES STEEPER THAN 3H:1V SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA HYDROSEEDING WITH APPROVED MIX AND APPLICATION RATE AND HIGH DENSITY JUTE MATTING. SEE LANDSCAPE PLANS FOR FURTHER INFORMATION IN LONG TERM SLOPE STABILIZATION AREAS.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS OR MATS, MID-SLOPE SEDIMENT FENCES OR WATTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMS OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEANED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM WATER SYSTEM.
- USE Bmps SUCH AS CHECK-DAMS, BERMS, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.

**# EROSION AND SEDIMENT CONTROL NOTES:**

- INSTALL SEDIMENT FENCE PER DETAIL 3/C9.10.
- INSTALL AND MAINTAIN 20' X 50' STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 1/C9.10. REUSABLE TRACKOUT CONTROL MATS MAY BE USED IN LIEU OF A QUARRY SPALL ENTRANCE, IF APPROVED BY THE PROJECT'S CITY EROSION CONTROL INSPECTOR.
- INSTALL STORM DRAIN INLET PROTECTION PER DETAIL 2/C9.10.
- INSTALL CONCRETE WASHOUT. PORTABLE CONCRETE WASHOUT BINS MAY BE USED IN LIEU IF APPROVED BY THE PROJECT'S CITY EROSION CONTROL INSPECTOR.
- PROTECT INFILTRATION FACILITY AREA. DO NOT COMPACT SOILS IN STORMWATER BASIN AREAS. STORMWATER BASIN AREAS SHALL PRESERVE EXISTING SOIL DENSITY BY LIMITING HEAVY MACHINERY AND VEHICLE TRACKING.



**SPECIAL NOTE:**  
SITE SOILS ARE SANDY AND MOISTURE SENSITIVE. CONTRACTORS SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND SITE-SPECIFIC GEOLOGIC HAZARDS EVALUATION STEEPLEJACK BREWING - MANZANITA, DATED JANUARY 20, 2022 BY NV5.

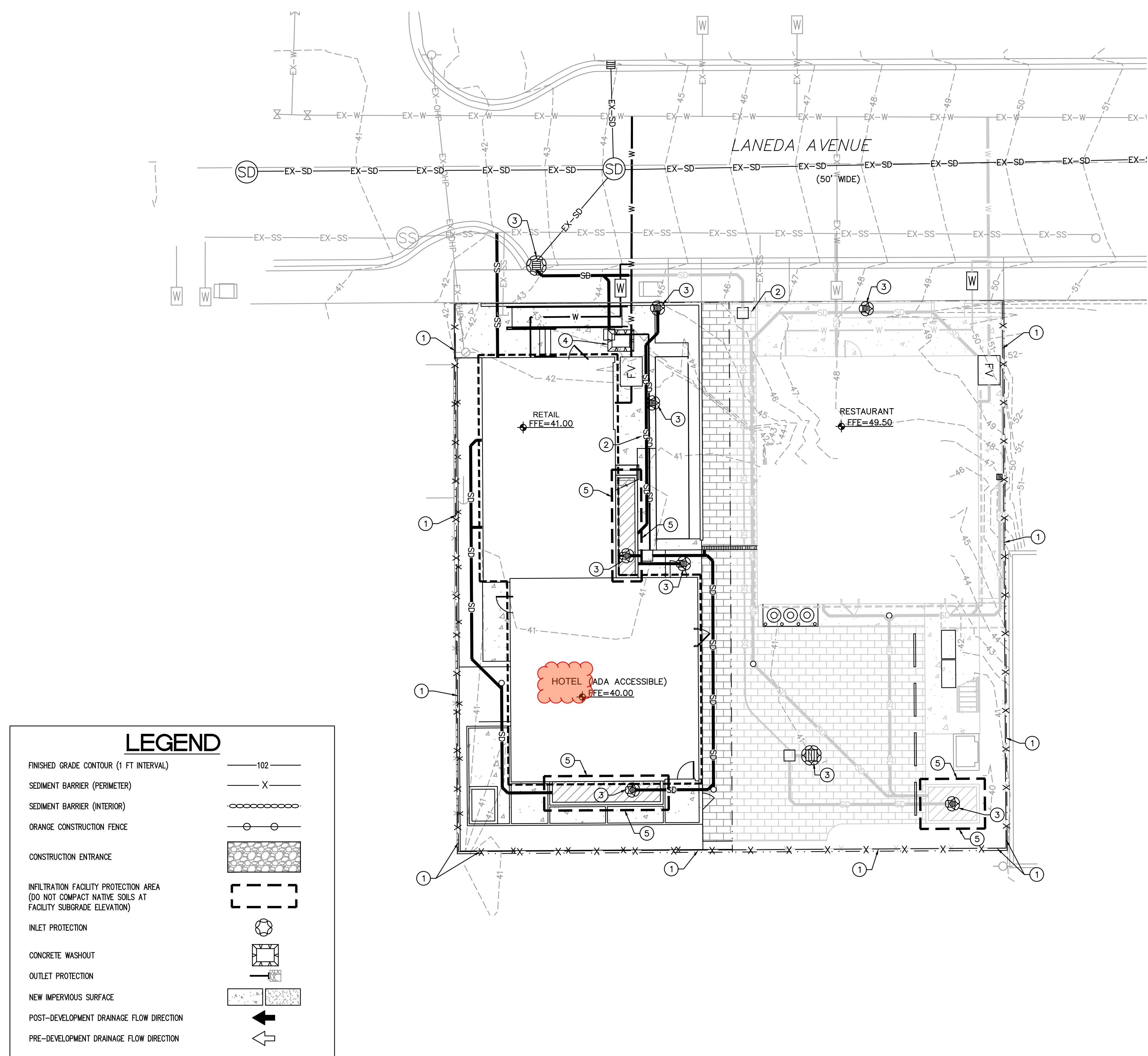
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**EROSION CONTROL PLAN - WEST**

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**LEGEND**

- FINISHED GRADE CONTOUR (1 FT INTERVAL)
- SEDIMENT BARRIER (PERIMETER)
- SEDIMENT BARRIER (INTERIOR)
- ORANGE CONSTRUCTION FENCE
- CONSTRUCTION ENTRANCE
- INFILTRATION FACILITY PROTECTION AREA (DO NOT COMPACT NATIVE SOILS AT FACILITY SUBGRADE ELEVATION)
- INLET PROTECTION
- CONCRETE WASHOUT
- OUTLET PROTECTION
- NEW IMPERVIOUS SURFACE
- POST-DEVELOPMENT DRAINAGE FLOW DIRECTION
- PRE-DEVELOPMENT DRAINAGE FLOW DIRECTION



**STEEPLEJACK  
MANZANITA**

Job Number: 21119

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LAND-USE REVIEW 06/03/2022

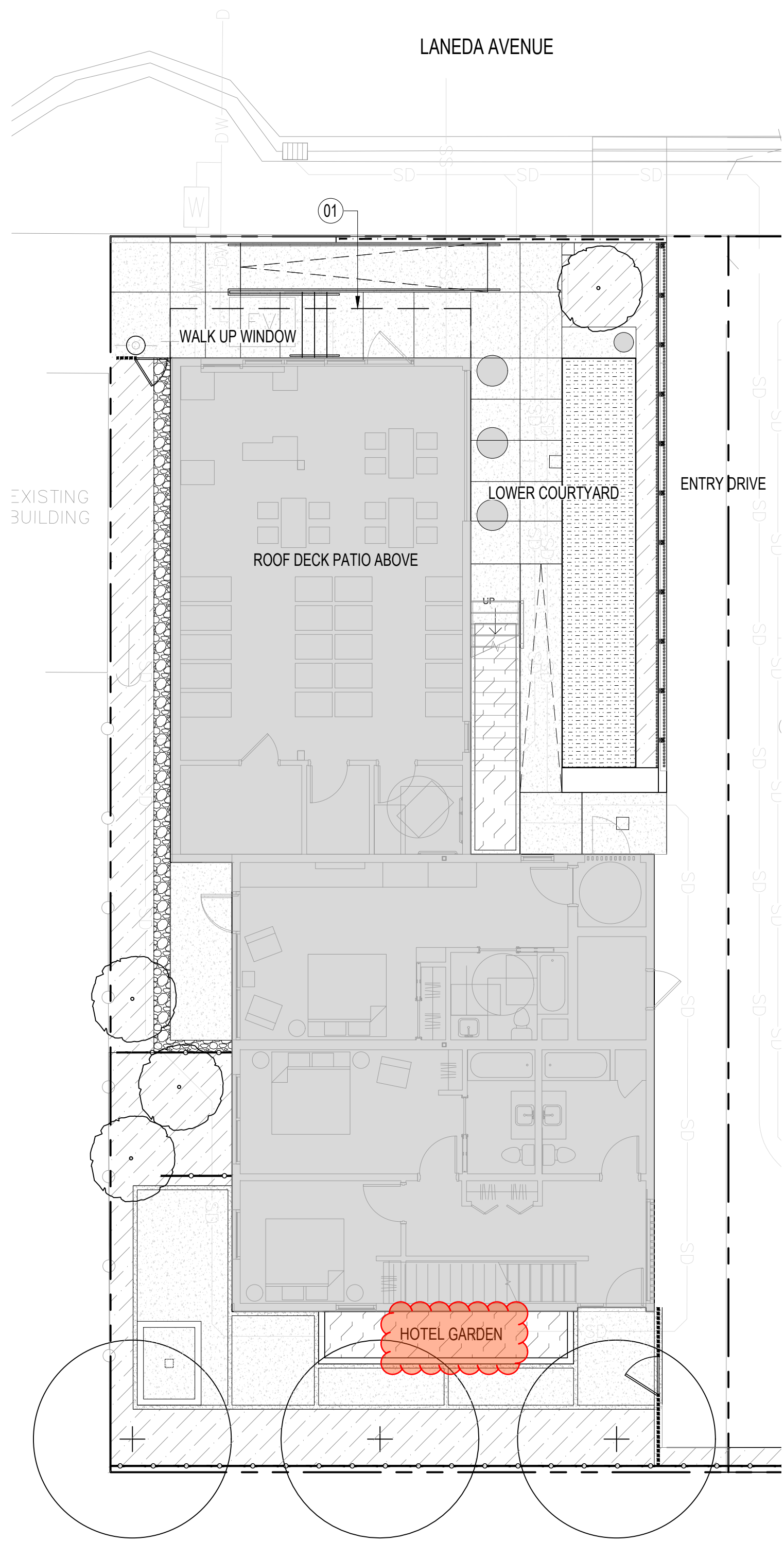
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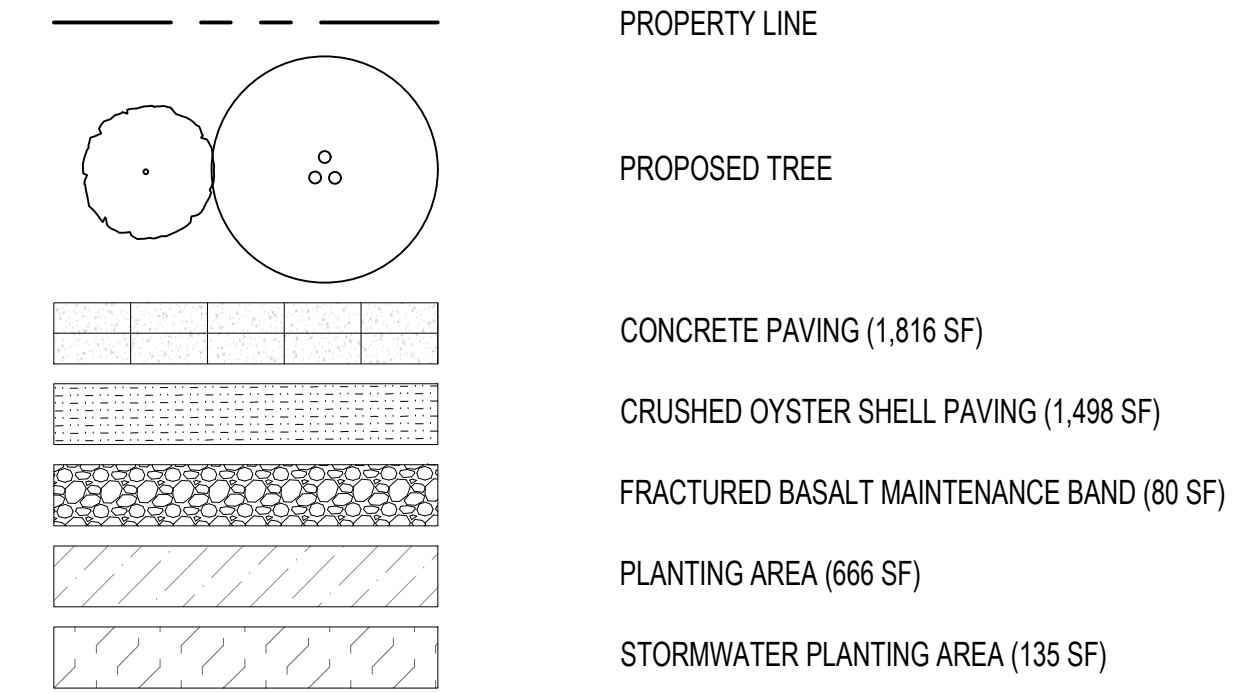
**KEY PLAN**

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**LANDSCAPE LEGEND**



**LANDSCAPE CALCS**

PLANTING AREA (801 SF)  
OPEN SPACE - GROUND LEVEL (390 SF)  
OPEN SPACE - LEVEL 1 (1,053 SF)

**KEYNOTES**

01 STRUCTURE OVERHEAD, PER ARCHITECT

**GENERAL NOTES**

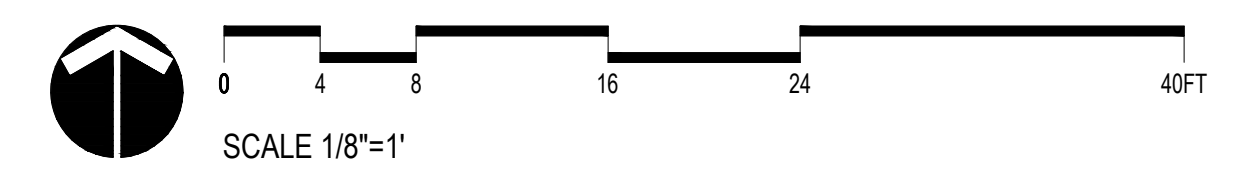
1. INFORMATION REGARDING EXISTING CONDITIONS USED TO PREPARE THESE DOCUMENTS HAS BEEN PROVIDED BY OTHERS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
2. SHOULD THERE BE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECTURAL, ARCHITECTURAL, OR ENGINEERING DRAWINGS, THE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT TO REVIEW AND COORDINATE BEFORE PROCEEDING WITH WORK. THE LANDSCAPE ARCHITECT WILL ISSUE A WRITTEN DIRECTIVE IF FURTHER CLARIFICATION IS REQUIRED.
3. THE CONTRACTOR SHALL ENSURE THAT ALL WORK MEETS ALL APPLICABLE LOCAL AND NATIONAL BUILDING AND SAFETY CODES THAT PERTAIN TO THE PROJECT WORK. IF THERE IS A DISCREPANCY BETWEEN A CODE AND THE CONTENT OF THE PLANS, THE CONTRACTOR IS TO CONSULT LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. PARKING, EQUIPMENT AND MATERIAL STORAGE IS PERMITTED ONLY IN THE AREA PROVIDED ON THIS PLAN. PARKING FOR MATERIAL STORAGE OUTSIDE THIS AREA, EVEN TEMPORARILY, WILL NOT BE PERMITTED.
5. LANDSCAPE/PLANTING CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT TO REVIEW PLANS BEFORE COMMENCING WORK IN ORDER TO ASSURE CLOSE COORDINATION.
6. PRIOR TO PROJECT COMPLETION, THE SITE IS TO BE THOROUGHLY CLEANED OF ALL CONSTRUCTION DEBRIS, SIGNS, ETC. AND REVIEWED BY LANDSCAPE ARCHITECT AND OTHER RELEVANT CONSULTANTS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO GROUND AND BOND ALL EXPOSED METAL OBJECTS IN LANDSCAPE AS REQUIRED BY CODE.
8. CONTRACTOR MUST CLEAN UP ALL TRASH AND DEBRIS ON THE CONSTRUCTION SITE AT THE END OF EACH DAY. LIGHTWEIGHT MATERIAL, PACKING, AND OTHER ITEMS MUST BE COVERED OR WEIGHTED DOWN TO PREVENT WIND FROM BLOWING SUCH MATERIALS OFF THE CONSTRUCTION SITE. CONTRACTORS ARE PROHIBITED FROM DUMPING, BURRYING, OR BURNING TRASH ANYWHERE ON THE SITE. DURING THE CONSTRUCTION PERIOD, THE CONSTRUCTION SITE MUST BE KEPT NEAT AND TIDY TO PREVENT IT FROM BECOMING AN EYESORE FOR SURROUNDING PROPERTY OWNERS. DIRT, MUD, OR OTHER DEBRIS RESULTING FROM ACTIVITY ON THE SITE MUST BE PROMPTLY REMOVED FROM SURROUNDING ROADS.
9. CONTRACTOR IS TO CREATE A WORK SCHEDULE AND DISTRIBUTE TO OWNER, LANDSCAPE ARCHITECT, AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THE SCHEDULE IS TO CLEARLY OUTLINE DATES FOR:
  - 9.1. PRE-CONSTRUCTION MEETING TO REVIEW CONSTRUCTION FENCE, EROSION & SEDIMENT CONTROL MEASURES AND TREE PROTECTION MEASURES.
  - 9.2. REVIEW OF MATERIAL MOCKUPS (SEE MATERIAL NOTES).
  - 9.3. REVIEW OF SITE AND ARCHITECTURAL LAYOUTS.
  - 9.4. ALL RELEVANT ARCHITECTURAL, STRUCTURAL, POOL AND MEP REVIEWS.
  - 9.5. CONCRETE FOUNDATION AND SLAB REVIEW DATES.
  - 9.6. MASONRY REVIEW DATES.
  - 9.7. LANDSCAPE PLANTING TREE LAYOUTS (WITH FLAGS) AND PLANT QUANTITY REVIEW (BEFORE PLANTING).
  - 9.8. FINAL PLANTING AND HARDSCAPE REVIEW.
  - 9.9. PROJECT COMPLETION.

**UTILITY NOTES**

1. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE.
2. VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES IN THE FIELD AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN LAYOUT/GRADING AND UTILITIES PRIOR TO CONSTRUCTION.
3. TRENCHING FOR UTILITIES WILL BE PERMITTED IN APPROVED LOCATIONS ONLY. CONTRACTOR MUST ALERT LANDSCAPE ARCHITECT PRIOR TO TRENCHING FOR LOCATION REVIEW AND APPROVAL.

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**STEEPLEJACK  
MANZANITA**


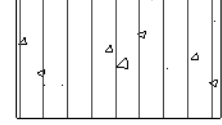


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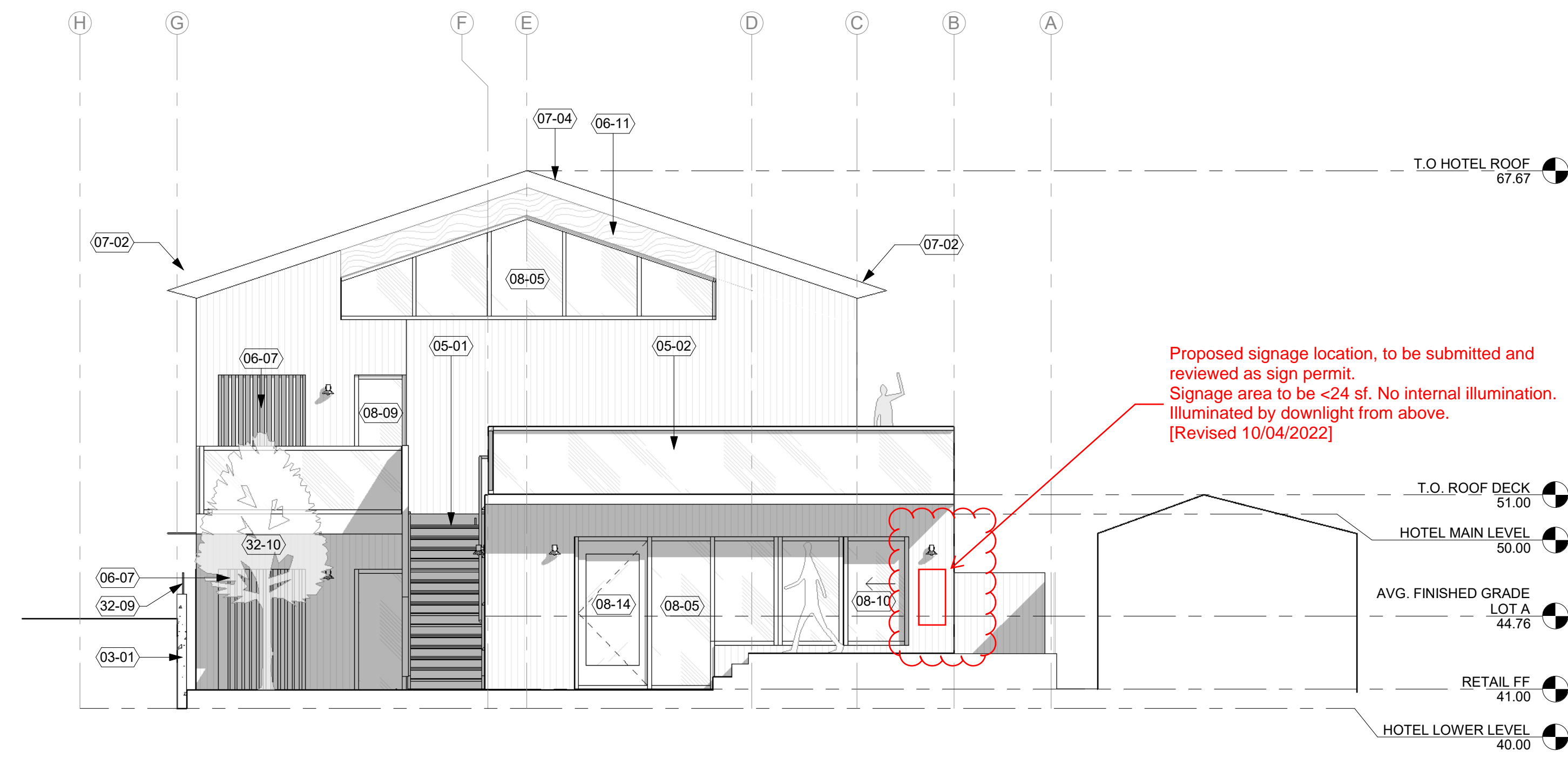
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MANZANITA, OR, 97130

**KEYNOTES** 07-02

03-01	CONCRETE SITE WALL. BOARDFORM
05-01	STEEL STAIR WITH CONCRETE PAN TREADS (OPEN RISERS), GLASS GUARDRAIL AND STEEL HANDRAIL
05-02	42" GLASS GUARDRAIL SYSTEM. ALUMINUM RAIL
05-08	STEEL PLATFORM WITH CONCRETE TOPPING AND GLASS GUARDRAILS
05-09	1/2" STEEL CANOPY. 18" DEEP
06-04	2x4 EXTERIOR THERMALIZED WOOD SLATS
06-07	2x4 THERMALIZED WOOD SCREEN WITH 3'-0" x 7'-0" INTEGRATED HINGED DOOR WITH LOCK
06-11	EXPOSED GLULAM BEAM WITH EXTERIOR GRADE FINISH
07-02	SHEET METAL CUTTER
07-03	SHEET METAL CANOPY
07-04	STANDING SEAM ROOF.
07-05	SHEET METAL DOWNSPOUT
08-02	7'-9" x 12' FOLDING ALUMINUM DOOR (4 PANELS)
08-04	3'-0" x 7'-0" PAINTED HM DOOR
08-05	ALUMINUM STOREFRONT SYSTEM
08-09	STAINED GLASS PANEL
08-10	6'-9"x5'-7" ALUMINUM SLIDING WALK UP WINDOW DOOR
08-14	3'-0"x7'-8" ALUMINUM STOREFRONT DOOR
08-17	8'-0"x12'-0" PATIO SLIDER SYSTEM
32-01	LANDSCAPING. SEE LANDSCAPE
32-02	ALUMINUM PLANTER
32-09	SCREENED SITE WALL. SEE LANDSCAPE
32-10	TREE. SEE LANDSCAPE
32-13	WOOD FENCE. SEE LANDSCAPE

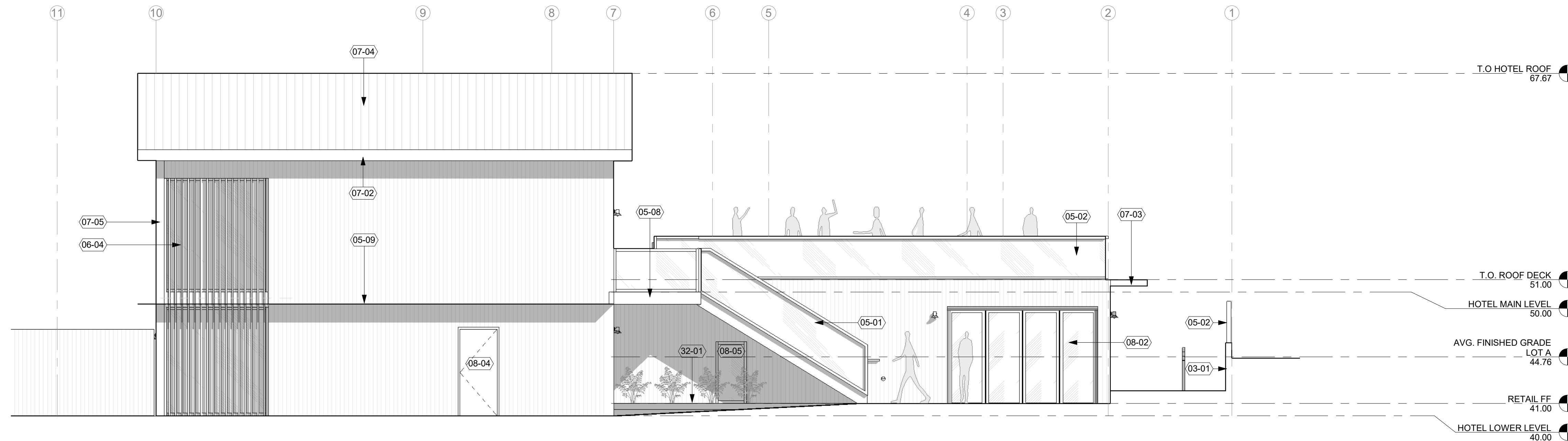
**LEGEND**

	1x6 VERTICAL T&G RED CEDAR WOOD SIDING
	CAST-IN PLACE BOARDFORM CONCRETE NATURAL FINISH
	STONE TILE
	STOREFRONT BLACK ANODIZED ALUMINUM



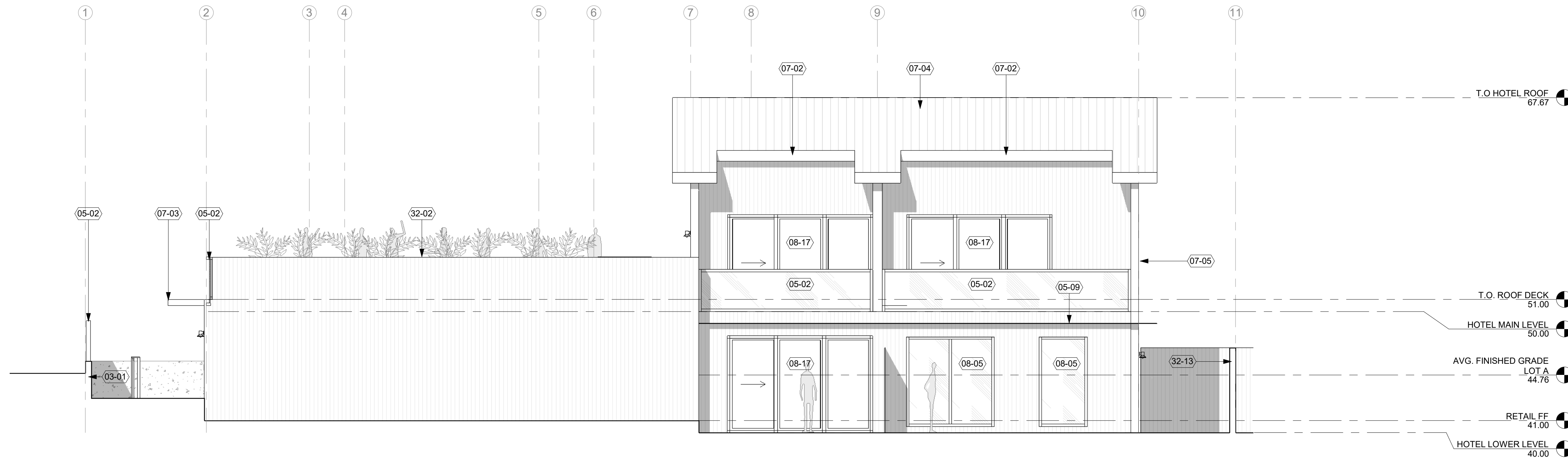
**1 NORTH ELEVATION A**

3/16" = 1'-0"



**2 EAST ELEVATION A**

3/16" = 1'-0"



**3 WEST ELEVATION A**

3/16" = 1'-0"

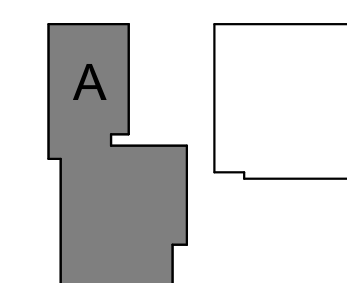
Issue \_\_\_\_\_ Date \_\_\_\_\_

Drawing: \_\_\_\_\_

**EXTERIOR  
ELEVATIONS**

Sheet No:

**A3.01A**



KEY PLAN

FILE PATH: C:\Revit\_Local\21119\_ Steeplejack Manzanita\_2022\_DESIGN REVIEW\_ewerzse@seallp.com.rvt

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